

**DRAWING INDEX**

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**CODE SCHEDULE**

- 2011 PIKES PEAK REGIONAL BUILDING CODE
- 2009 IRC\*
- 2009 IPC\*
- 2009 IFCG\*
- 2009 IMC\*
- 2009 IECC\*
- 2011 NEC\*\*

\*As amended by 2011 PPRBC  
 \*\*Or the latest edition adopted by the State of Colorado

**SHEET**  
**1**  
**of 5**

**PLOT DATE**  
 9/4/2014

**Drawn By:**  
 Terry Carlson  
 719-964-2568

**Notes and Revisions:**  
**CONSTRUCTION EDITION**  
 Subject to PPRBC approval and stamp

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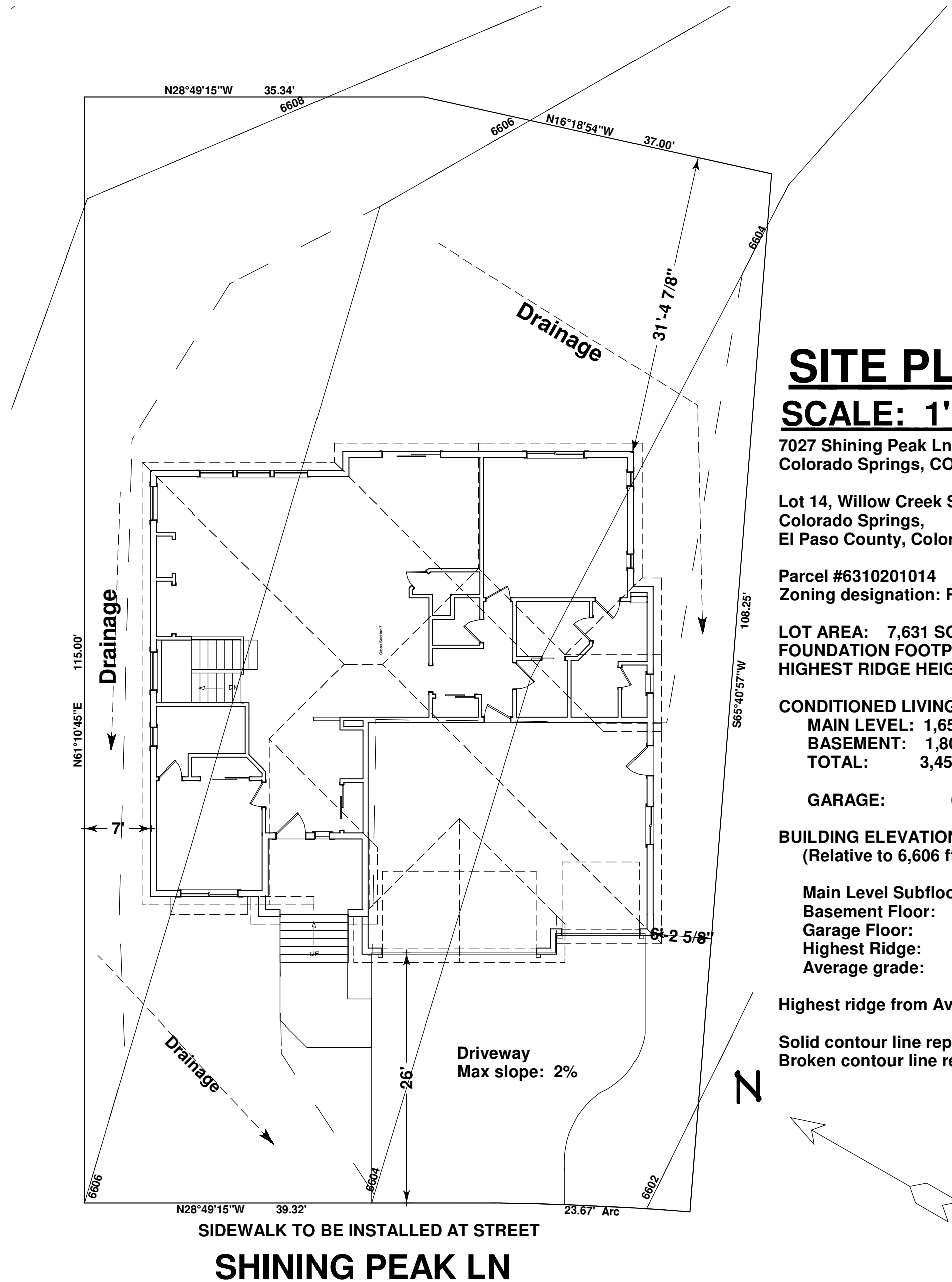
**SUBCONTRACTOR NOTE:** Every effort has been made to provide accurate information. However, the contractor is responsible for verifying all dimensions and conditions of the site prior to commencement of work. Any changes to the drawings or specifications must be made at the contractor's expense and approved by PPRBC. The contractor shall be held responsible for any errors or omissions on the drawings and specifications.

**PLAN:**  
 Site specific single family residence  
 7027 Shining Peak Ln  
 Colorado Springs, CO 80918  
 Lot 14, Willow Creek Subdivision  
 Colorado Springs, El Paso County, Colorado

**A Residence For:**  
 8883 Shipman Ln.  
 Colorado Springs, CO 80908  
 719-510-6253



**Terry C Design Services**  
 5620 Old Farm Terrace  
 Colorado Springs, CO 80917  
 www.tchomedesign.com 719-964-2568



**SITE PLAN**  
**SCALE: 1" = 10'**

7027 Shining Peak Ln  
 Colorado Springs, CO 80918

Lot 14, Willow Creek Subdivision,  
 Colorado Springs,  
 El Paso County, Colorado

Parcel #6310201014  
 Zoning designation: R1-6 DF

LOT AREA: 7,631 SQ FT  
 FOUNDATION FOOTPRINT AREA: 2,538.04 sq ft (33.26%)  
 HIGHEST RIDGE HEIGHT FROM AVG GRADE: 23.24'

CONDITIONED LIVING AREA:  
 MAIN LEVEL: 1,656 sq ft  
 BASEMENT: 1,801 sq ft  
 TOTAL: 3,457 sq ft

GARAGE: 660 sq ft

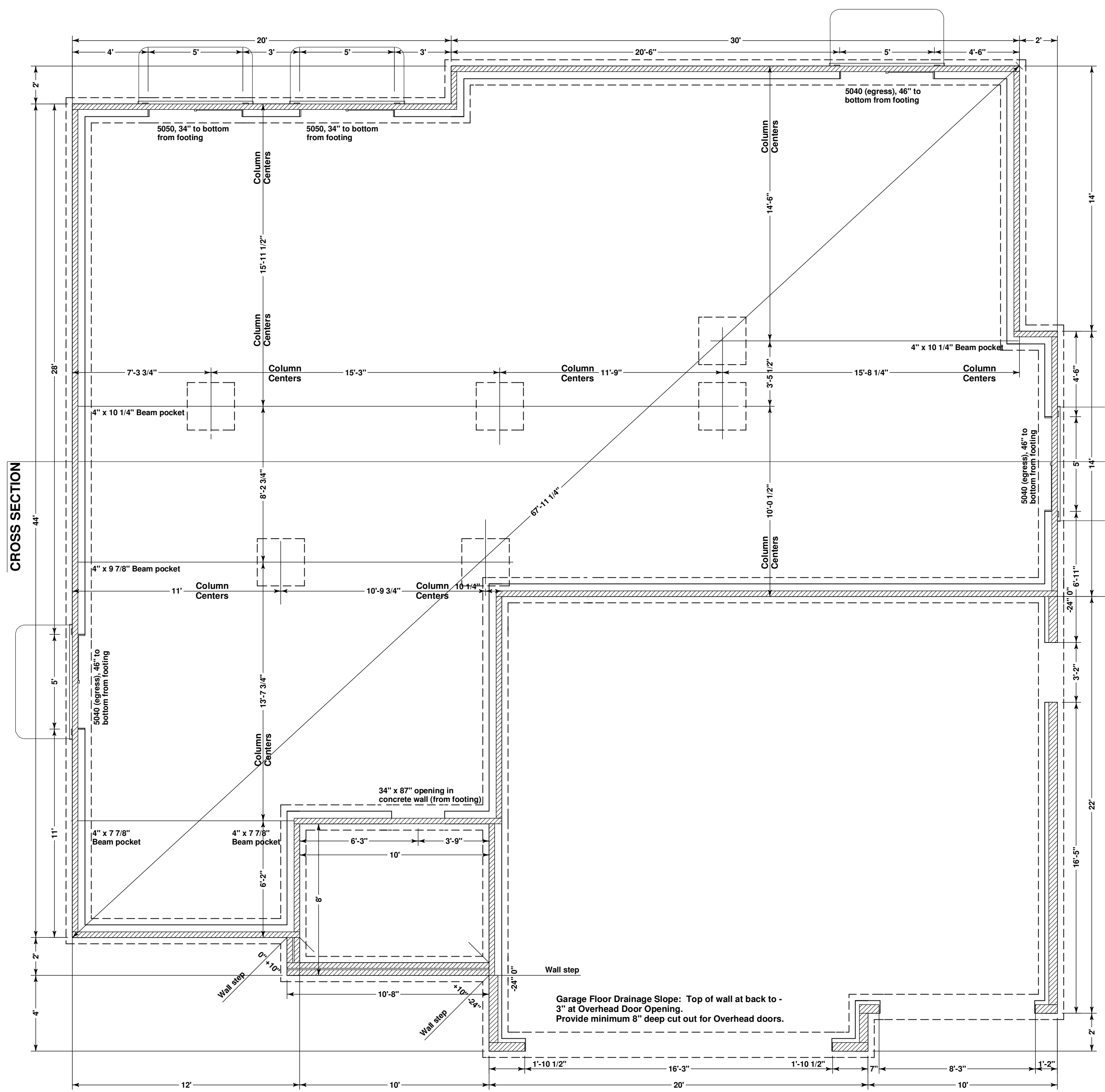
BUILDING ELEVATIONS:  
 (Relative to 6,606 ft)

Main Level Subfloor: +1.55' (6,607.55')  
 Basement Floor: -8.42' (6,597.58')  
 Garage Floor: +2.00' (6,604.00')  
 Highest Ridge: +22.24' (6,628.24')  
 Average grade: -1.00' (6,605.00')

Highest ridge from Average grade: 23.24'

Solid contour line represents existing grade  
 Broken contour line represents proposed grade

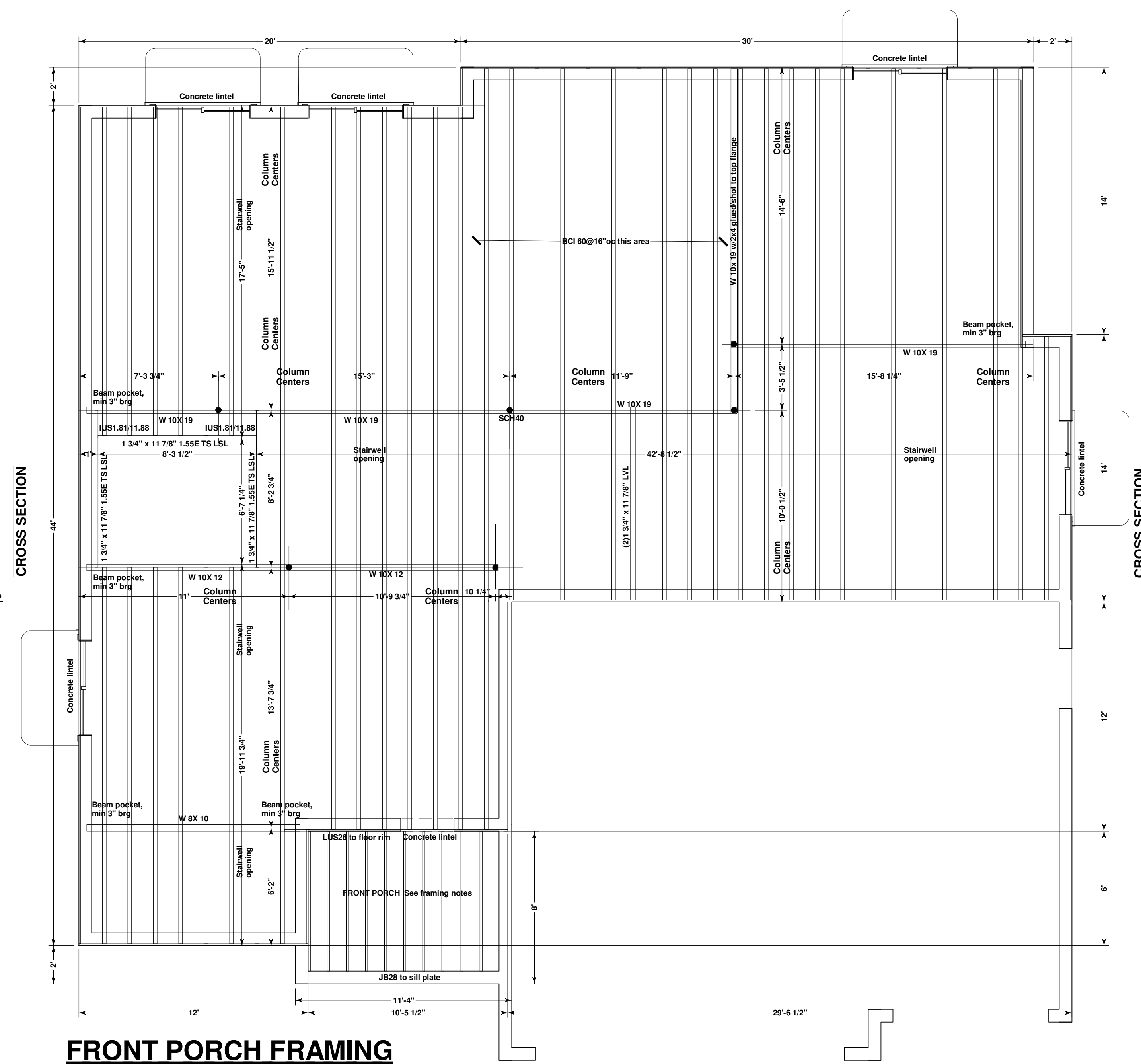
SIDWALK TO BE INSTALLED AT STREET  
**SHINING PEAK LN**



**FOUNDATION PLAN**

SCALE: 1/4" = 1'

- 1) Foundation Plan for dimensional reference only. Soils Report and Foundation Design by licensed Colorado Engineer must be onsite at first inspection.
- 2) Hatched area indicates position of mudsill. Use treated or redwood 2x4 at top of basement wall 2x6 at Garage. No Brickledge required for Cultured Stone Installation.
- 3) All window wells must be minimum 15 sq ft with minimum 36" dimension. Provide steps or ladder if over 44" deep with bottom/top step/rung minimum 18" from grade. All headers are framed per floor framing plan.
- 4) See engineer's foundation plan for lintel, pier and pad sizing and detail.
- 5) Pad dimensions are from exterior surface of wall to center of pad
- 6) Main basement wall 9' plus double sill plate (3") for 107" net ceiling with 4" slab over footing. Foundation top of wall and pier hts indicated are relative to top of 9' main basement wall under floor framing.



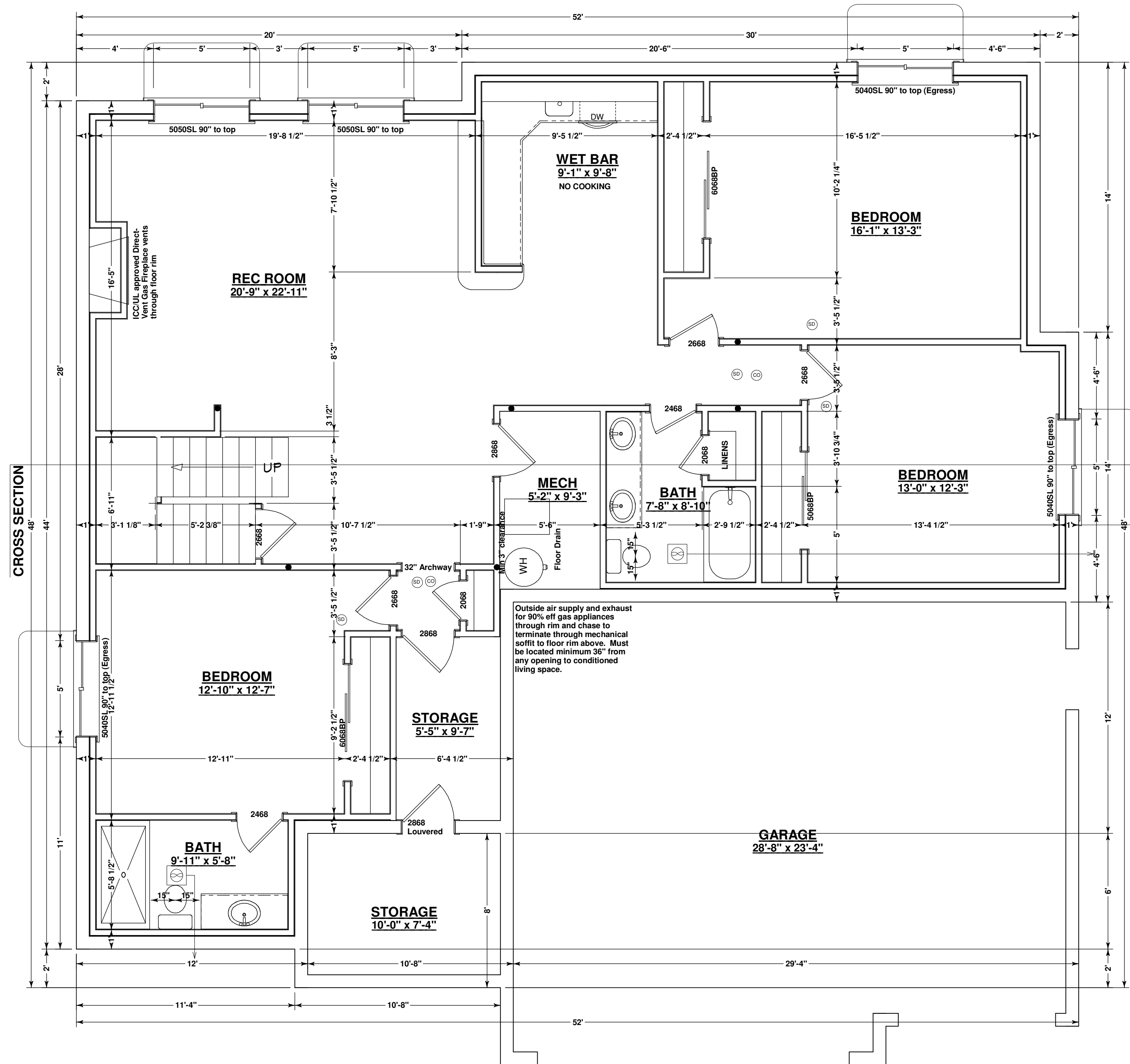
**FRONT PORCH FRAMING**

- 1) Top of framing 4 3/4" below top of main subfloor
- 2) Ledgers: Joists hang from LSL floor rim w/LUS26
- 3) Rim: Joists hang from sill plate w/JB28 hanger
- 4) Joists: 2x8 @16"oc to LSL Rim w/LUS26. Use LS70 at corners.
- 4) Subfloor: 5/8" Treated CDX
- 7) Topping:  
Apply waterproof roofing membrane over deck under concrete topping  
Avg 3 1/8" 6 sack 3/8- agg concrete topping reinforced w/fiber mesh  
Topping to be flush with main subfloor along walls w/minimum 1/8" per foot drainage slope.
- 6) Porch Design Loads:  
Live Load 40psf  
Dead Load 55psf  
Total Load 95psf

**FLOOR FRAMING PLAN**




SCALE: 1/4" = 1'

- 1) Joist: 11 7/8" BCI 6000 @16"oc w/US2.37/11.88 hangers
- 2) Rim: 11 7/8" Timberstrand or equivalent (Typ) UON
- 3) (1) 1 3/4" x 11 7/8" 1.55E TS LSL at all stairwell surfaces UON
- 4) Default Header: 3 1/2" x 5 1/2" 1.3E LSL 2t/2k UON
- 5) + Default Column: 3" dia adjustable steel column UON, SCHEDULE 40 where indicated.
- 6) Stair Landings: 2x8@16"oc to (2)2x8 rims w/LUS26. Hang landing beams from flush floor beams above w/ CS16 straps @ea beam end. Lap straps 10" min each end, do not nail into end grain, provide 2x backer full length of strap.
- 7) Dimensions:  
Framing: Rim to rim  
Columns and Beam Pockets: Framed wall exterior or Concrete surface to center  
Stairwell: Rim or exterior of concrete wall surface to stairwell surface
- 8) DESIGN LOADS:  
Live Load: 40 psf  
Dead Load: 10 psf  
Total Load: 50 psf

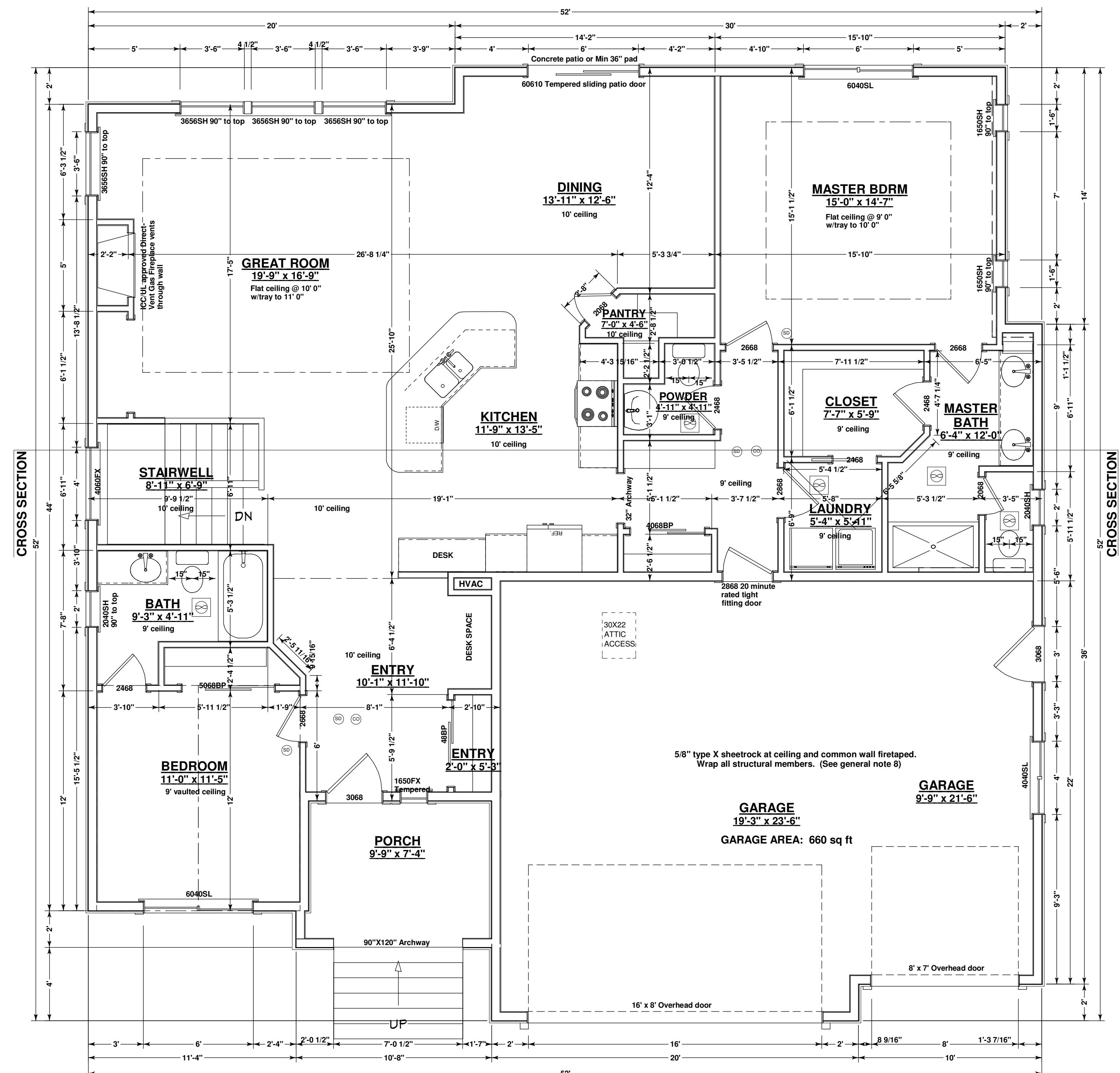


**BASEMENT GENERAL NOTES:**

SCALE: 1/4" = 1'




- BASEMENT CEILING HEIGHTS:**  
7'-7 1/2" Minimum Ceiling Height. Beams, Girders and Ducts may project up to 10" below required height.  
Nominal 9" Standard basement ceiling: 107" slab to floor joist with 9" foundation wall plus double (3") sill plate, less 4" slab over footing
- EGRESS WINDOWS:**  
Basement includes Egress windows where indicated. Install min 15 sq ft well at all subgrade basement windows with min 36" dimension. Provide ladder where well is deeper than 44" below grade. First rung of ladder to be within 18" of grade.  
Minimum Egress opening dimensions: Height: 24", Width: 20", 5.7 sq ft  
Maximum sill height: 44"
- VENTED EXHAUST FANS:**  
Vented Exhaust Fans located as indicated by , terminate through joist cavity or duct soffit and out floor rim as indicated by arrows and may not terminate within 36" of any opening which allows air into occupied area  
Provide backdraft damper.
- DRYER VENT**  
Dryer vent terminates Floor rim below to exterior wall as indicated by arrow.  
Maximum dryer vent duct: 25', allow 5' for each elbow. Provide booster fan for extended duct length.  
Dryer vent may not terminate within 36" of any opening that allows air into occupied area.  
Provide backdraft damper  
Provide 100 sq in make-up air
- STAIRS:**  
Install minimum 1/2" drywall, firetaped, all surfaces under stairs if enclosed and accessible.  
Provide Handrail minimum 34", maximum 38" from stair nosing.  
Provide minimum 36" half wall or guardrail at open landings and balconies.  
Maximum Riser: 7 3/4", Minimum Tread: 10", Maintain Minimum 6'-8" Head Clearance
- WATER HEATERS:**  
Bradford-White #M15036FBN: 50 gallon capacity, 86 gallon First Hour Rating, 40,000BTU Input  
Provide combustion air and clearances per IMC for gas appliances.
- SMOKE and CO DETECTORS:**  
Smoke Detectors located as indicated by  interconnected and to all other floors with battery back-up.  
Carbon Monoxide detector  shall be installed within 15 ft of all bedroom entrances. Multiple detectors to be interconnected.
- Provide low resistance return air path to all closed rooms. Recommend 1" clearance at bottom of door.
- Allow Floor Lift under non-bearing partitions  
Treated or redwood sill plate on surface with bottom plate of wall elevated 3" above sill plate held in place with 6" spike @4" max oc.
- Provide outside combustion air to gas appliances in basement.

**BASEMENT FLOOR PLAN**  
1801 sq ft



**GENERAL NOTES:**

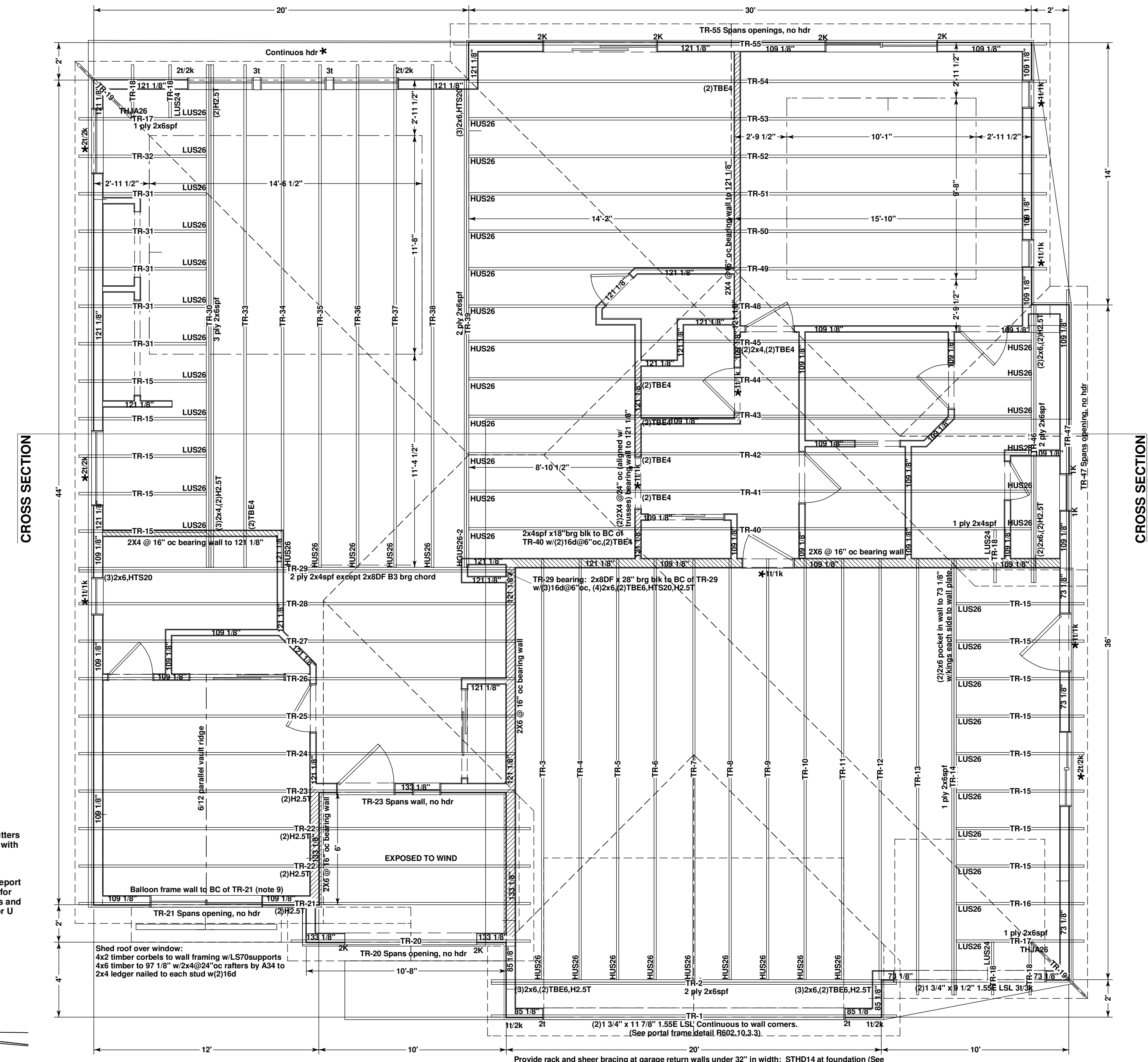
SCALE: 1/4" = 1'

- CEILINGS AND WALLS**  
Standard ceilings: 10' except where otherwise indicated. Verify plate heights with framing plans.  
Garage ceiling: 95 1/8" from framed subfloor.  
Standard exterior walls: 2x6@16" oc UON
- WINDOWS:**  
All window header heights 84" from subfloor UON. Garage window tops from top of foundation wall.  
Provide one Egress window at all bedrooms.  
Minimum Egress opening dimensions: Height: 24", Width: 20", 5.7 sq ft  
Maximum Egress sill height: 44"
- VENTED EXHAUST FANS:**  
Vented Exhaust Fans located as indicated by , terminate through roof or through floor rim as indicated by arrows and may not terminate within 36" of any opening which allows air into occupied area.  
Where no arrow is indicated, exhaust fan vents straight up through roof.  
Provide backdraft damper.
- DRYER VENT**  
Dryer vent terminates Floor rim below to exterior wall as indicated by arrow.  
Maximum dryer vent duct: 25', allow 5' for each elbow.  
Dryer vent may not terminate within 36" of any opening that allows air into occupied area.  
Provide backdraft damper  
Provide 100 sq in make-up air
- STAIRS and BALCONIES:**  
Install minimum 1/2" drywall, firetaped, all surfaces under stairs if enclosed and accessible.  
Provide Handrail minimum 34", maximum 38" from stair nosing.  
Provide minimum 36" half wall or guardrail at open landings and balconies.  
Maximum Riser: 7 3/4", Minimum Tread: 10", Maintain Minimum 6'-8" Head Clearance
- SMOKE DETECTORS:**  
Located as indicated by  Interlinked together and to all other floors with battery back-up  
Carbon Monoxide detector  installed within 15 ft of all bedroom entrances. Multiple detectors to be interconnected.
- DISHWASHER**  
Provide air gap device at dishwasher.
- GARAGE**  
5/8" type X sheetrock at ceiling and common wall firetaped.  
Wrap all structural members.  
Provide minimum 1/8" slope per 1' at floor for drainage.
- ARCH RADIIUS**  
Use opening width for arch radius at all arched windows and archways.
- Provide low resistance return air path to all closed rooms. Recommend 1" clearance at bottom of door.

**MAIN LEVEL FLOOR PLAN**  
1656 sq ft







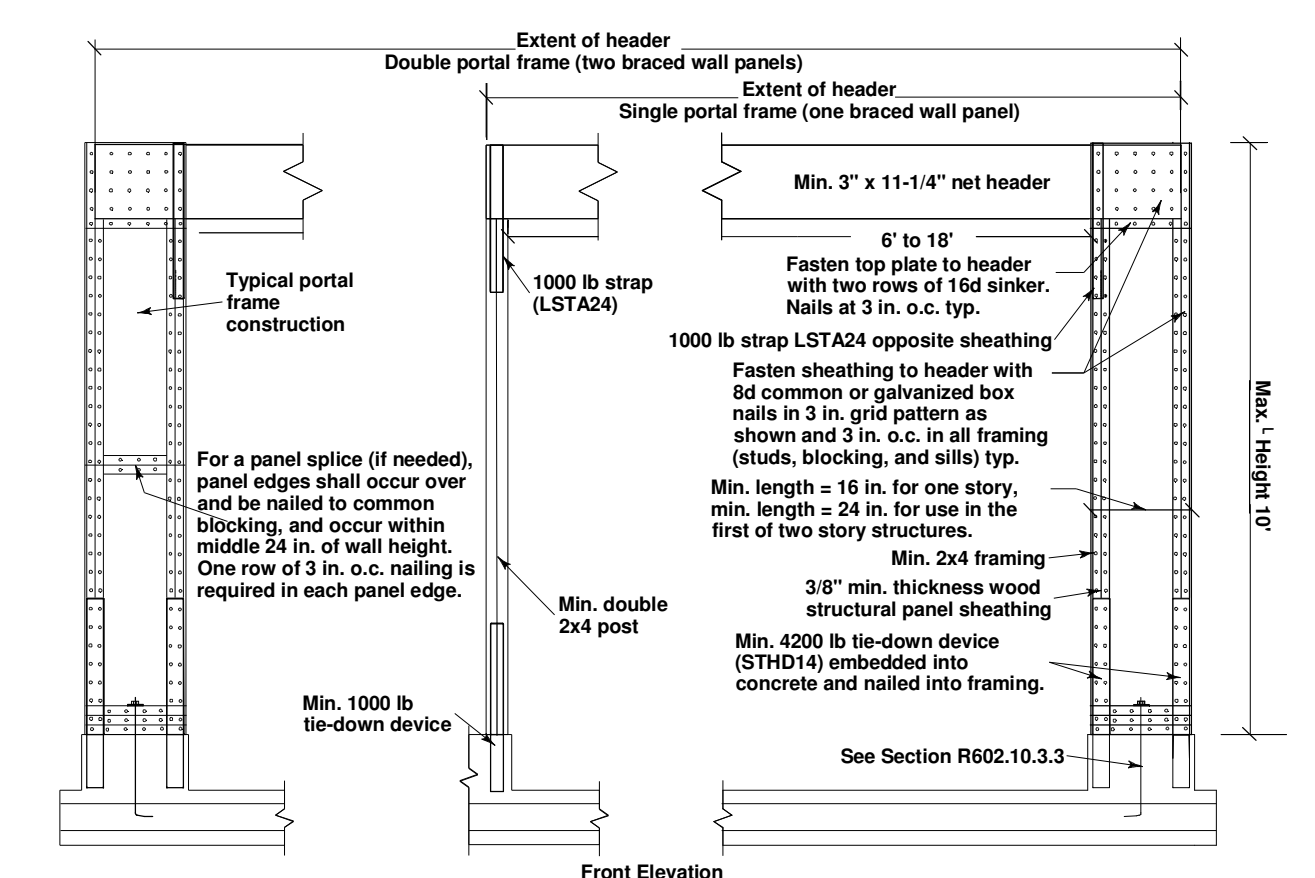
**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'

- 6/12 Pitch 0-6-6 heel w/16 1/2" plumb cut tails UON. Specific heels heights indicated on plan are for total heel.
- Gable trusses: Continuous bearing available except where noted otherwise, 18" gable eave overhang.
- Use (1)H2.5T at all trusses and Rafter Bearings UON
- \*Default Header: 3 1/2" x 5 1/2" 1.3E TS LSL 1U/1K UON  
Header Ht: 84" UON.
- Exterior Walls: 2x6 @16"oc, 0-5-8 bearing, DF top plates recommended UON.  
Garage Exterior walls: 2x4@16"oc, 0-3-8 bearing UON.  
Hatched walls indicate Interior Bearing: 2x4@16"oc 0-3-8 bearing UON
- Provide sheathing under all valley trusses (if any).
- Truss Blocking where heel is greater than 8" (0-3-0)
- Wall Heights indicated are relative to Main Level Framed Subfloor, 121 1/8" UON.
- Balloon frame to bottom chord of vaulted trusses: 2x6@16"oc up to 15', 12"oc over 15', UON.
- Provide ice and water shield protection from edge of eave to 24" from outside of exterior wall at elevations above 7,000 ft.

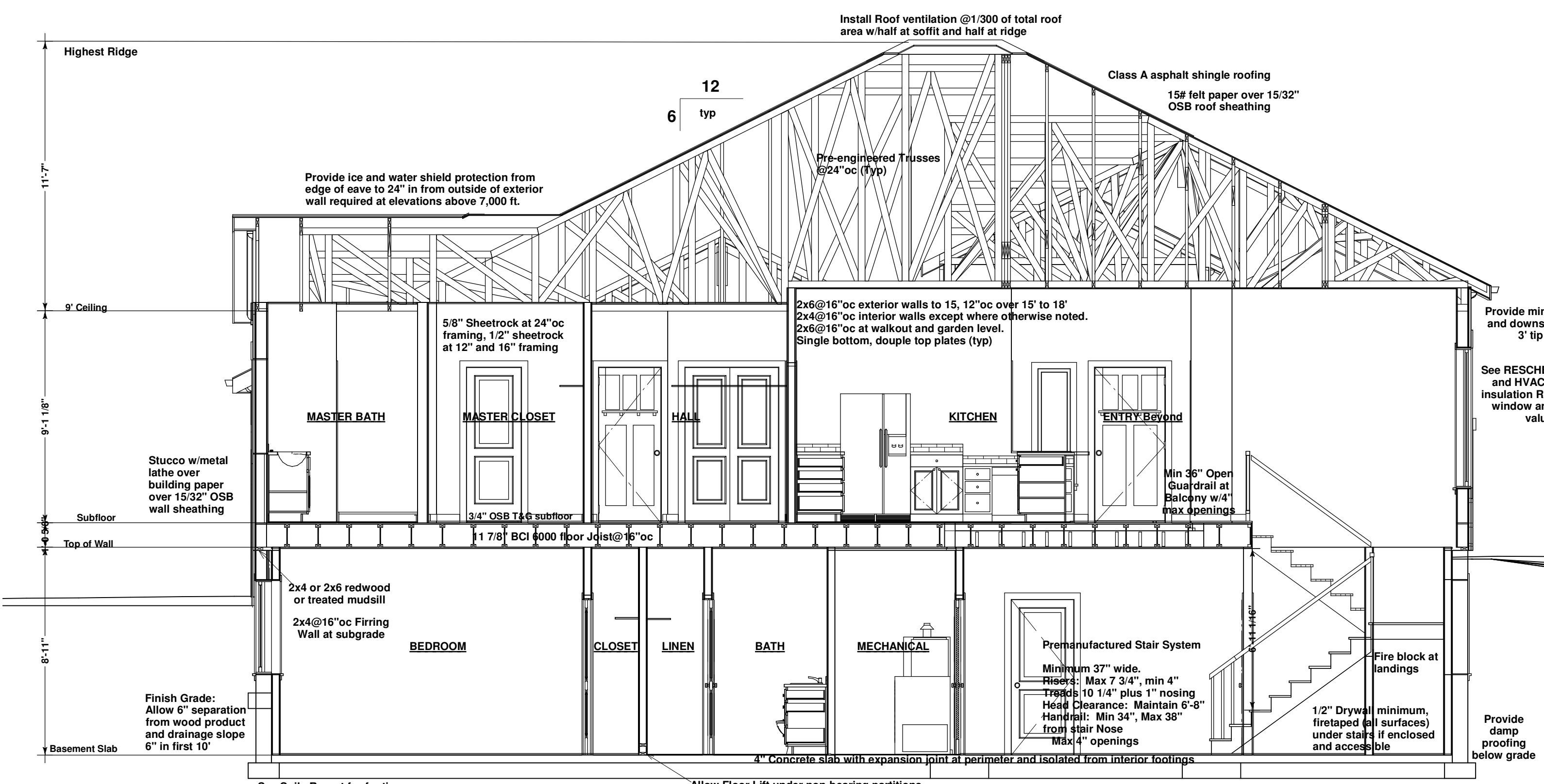
DESIGN LOADS: Over 7,000 ft elevation w/asphalt roofing  
Live Load: 40psf  
Snow:  
Flat Roof (Pf): 40psf  
Unbalanced (pg): 27psf  
Dead Load: 15psf  
Total Load: 55psf  
Wind: 100 mph exposure C

Hangers and hardware indicated using Simpson part numbers. Engineering and design is based on each manufacturer's design criteria. Manufacturer's design criteria supercedes cross reference schedules.

TR-12 truss label not used



**FIGURE R602.10.3.3 2009IRC**  
METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS

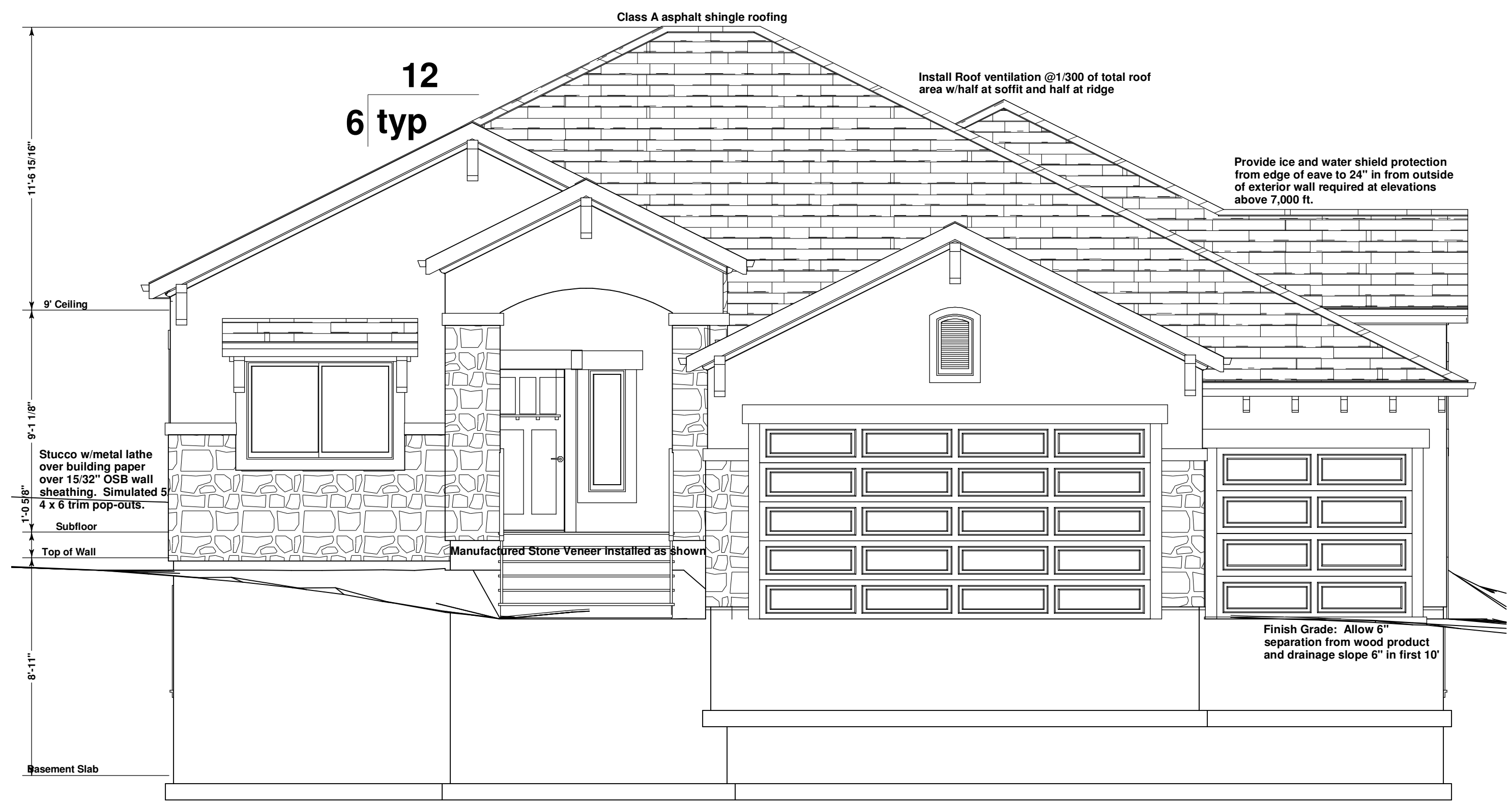


**CROSS SECTION**  
SCALE: 1/4" = 1'

Install Roof ventilation @1/300 of total roof area w/half at soffit and half at ridge  
Class A asphalt shingle roofing  
15# felt paper over 15/32" OSB roof sheathing  
Pre-engineered Trusses @24"oc (typ)  
Provide ice and water shield protection from edge of eave to 24" in from outside of exterior wall required at elevations above 7,000 ft.  
Provide min 4" gutters and downspouts with 3" tip ups.  
See RESCHECK Report and HVAC docs for insulation R values and window and door U values  
Provide damp proofing below grade  
2x6@16"oc exterior walls to 15', 12"oc over 15' to 18'  
2x4@16"oc interior walls except where otherwise noted.  
2x6@16"oc at walkout and garden level.  
Single bottom, double top plates (typ)  
Min 36" Oper Guardrail at Balcony w/4" max openings  
1 1/2" Drywall minimum, firetaped (all surfaces) under stairs if enclosed and accessible  
4" Concrete slab with expansion joint at perimeter and isolated from interior footings  
Allow Floor Lift under non-bearing partitions Treated or redwood sill plate on surface with bottom plate of wall elevated 3" above sill plate held in place with 6" spike @4 max oc.  
Finish Grade: Allow 6" separation from wood product and drainage slope 6" in first 10'  
See Soils Report for footing perimeter drain specifications  
See Engineer's foundation Plan for foundation reinforcing and anchor schedule



**SIDE ELEVATION**  
SCALE: 1/4" = 1'



**FRONT ELEVATION**  
SCALE: 1/4" = 1'



**REAR ELEVATION**  
SCALE: 1/4" = 1'



**GARAGE SIDE ELEVATION**  
SCALE: 1/4" = 1'