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CODE SCHEDULE	
2005 PIKES PEAK REGIONAL BUILDING CODE	
2003 IRC*	
2000 UPC*	
2003 IFGC*	
2003 IMC*	
2003 IECC*	
2005 NEC**	
*As amended by 2005 PPRBC	
**Or the latest edition adopted by the State of Colorado	

SHEET
1 of 8

PLOT DATE
12/17/2010

Drawn By:
Terry Carlson
719-964-2568

PLOT PLAN

SCALE: 1" = 20'

12224 Antlers Ridge Dr
Peyton, Colorado

Lot 233, Antlers Ridge Estates,
El Paso County, Colorado

LOT AREA: 108,893 SQ FT (2.50 Acres)
FOUNDATION FOOTPRINT AREA: 3,785 sq ft (3.47%)
HIGHEST RIDGE HEIGHT FROM AVG GRADE: 29'

CONDITIONED LIVING AREA:
MAIN LEVEL: 2,023 sq ft
BASEMENT: 2,088 sq ft
TOTAL: 4,111 sq ft

PROPOSED BUILDING GRADES
(Relative to 7,270 ft Elevation)

Finish Floor Living Area: +4' (7,274 ft Elevation)
Basement Floor: -6' (7,264 ft Elevation)
Garage Floor at Overhead Doors: +1' (7,271 ft Elevation)
Highest Roof Ridge: +23' (7,293 ft Elevation)

Topography shown is existing natural grade.

Notes and Revisions:

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PLAN: Site specific revision to Master Plan #2025
12224 Antlers Ridge Dr
Lot 233, Antlers Ridge Estates
El Paso County, Colorado

719-510-6253

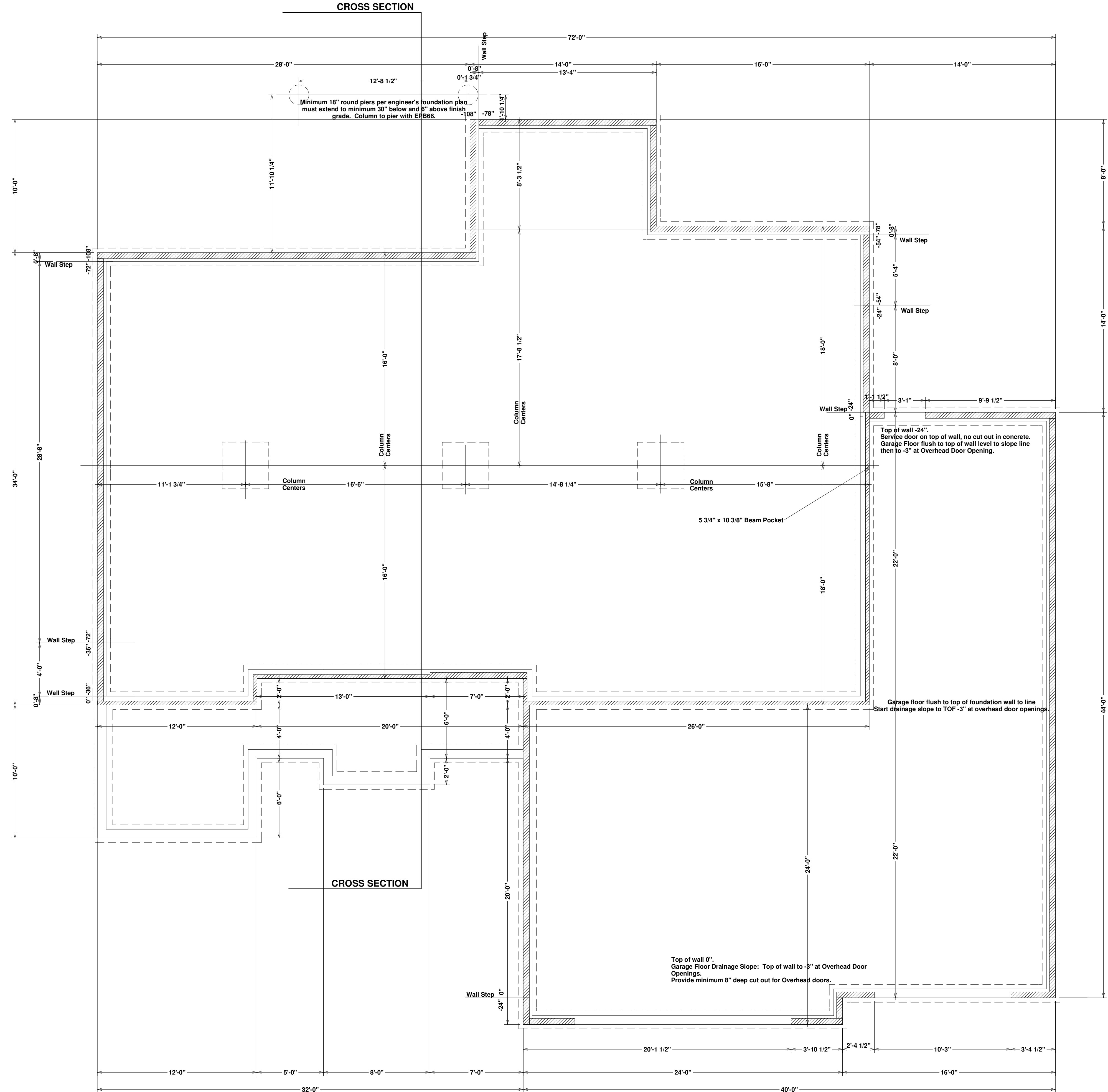
ELEVATION HOMES
8345 Towne Ave.
Peyton, CO 80831

Terry C Design Services
5620 Old Farm Terrace
Colorado Springs, CO 80917
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FOUNDATION PLAN

SCALE: 1/4" = 1'

- 1) Foundation Plan for dimensional reference only. Soils Report and Foundation Design by licensed Colorado Engineer must be onsite at first inspection.
- 2) Hatched area indicates position of mudsill. Use treated or redwood 2x4 at top of basement wall and 2x6 at Stairwell, walkout and garden level walls. No Brickledge required for Cultured Stone Installation.
- 3) THERE WILL BE NO SUBGRADE BASEMENT WINDOWS ON THIS BUILDING. NO WELLS OR FOUNDATION WALL CUT OUTS ARE NEEDED. All headers are framed per floor framing plan. See Floor plan for walkout and garden level window location and sizes.
- 4) See engineer's foundation plan for pier and pad sizing and detail
- 5) Pad dimensions are from exterior surface of wall to center of pad
- 6) Main basement wall 9' plus double sill plate (3") for 107" net ceiling with 4" slab over footing.
Foundation top of wall and pier hts indicated are relative to top of main basement wall.



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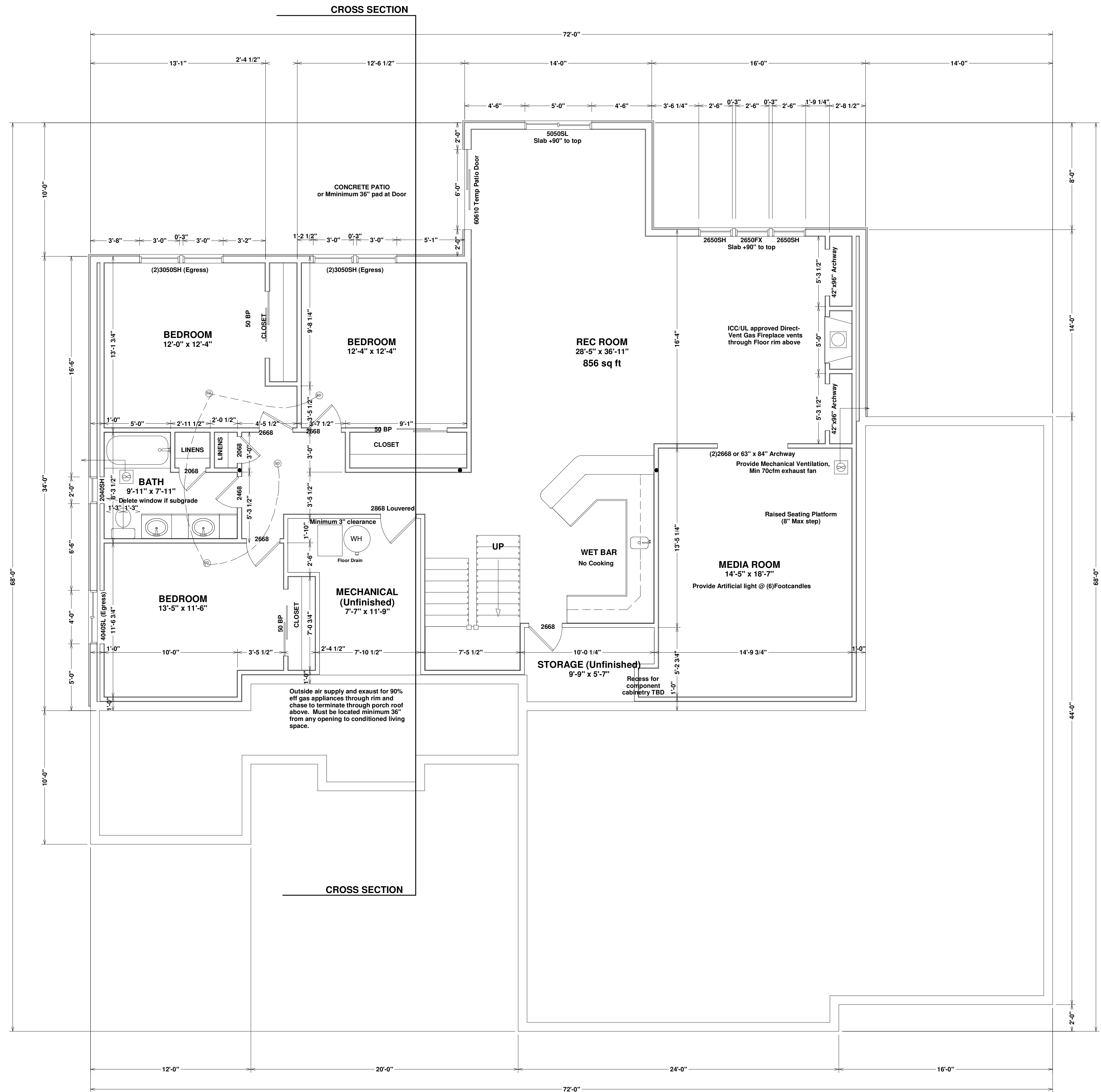
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GENERAL NOTES:

- 1) UNFINISHED BASEMENT AREA:
7'-7 1/2" Minimum Ceiling Height. Beams, Girders and Ducts may project up to 10" below required height per 2005 PPRBC, Section RBC 303.4.11
9' Standard basement ceiling
- 2) EGRESS WINDOWS:
Basement includes Egress windows where indicated all above exterior grade. Install min 15 sq ft well at all subgrade basement windows with min 36" dimension. Provide ladder where well is deeper than 44" below grade. First rung of ladder to be within 18" of grade.
Minimum Egress opening dimensions: Height: 24", Width: 20", 4.5 sq ft
Maximum sill height: 44"
- 3) VENTED EXHAUST FANS:
Vented Exhaust Fans located as indicated by , terminate through joist cavity or duct soffit and out floor rim as indicated by arrows and may not terminate within 36" of any opening which allows air into occupied area
Provide backdraft damper.
- 4) STAIRS:
Install minimum 1/2" drywall, firetaped, all surfaces under stairs if enclosed and accessible.
Provide Handrail minimum 34", maximum 38" from stair nosing.
Provide minimum 36" half wall or guardrail at open landings and balconies.
Maximum Riser: 8", Minimum Tread: 9", Maintain Minimum 6'-8" Head Clearance
- 5) WATER HEATERS:
Bradford-White #M15036FBN: 50 gallon capacity, 86 gallon First Hour Rating, 40,000BTU Input
Provide combustion air and clearances per IMC for gas appliances.
- 6) SMOKE DETECTORS:
Located as indicated by  interlinked together and to all other floors with battery back-up
- 7) Provide low resistance return air path to all closed rooms



BASEMENT FLOOR PLAN

SCALE: 1/4" = 1' **2088 sq ft**

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GENERAL NOTES:

SCALE: 1/4" = 1'

1) CEILINGS AND WALLS

Standard ceilings: 9' except where otherwise indicated. Verify plate heights with framing plans.
Garage ceiling: 109 1/8" from framed subfloor.
Standard exterior walls: 2x6@16" oc UON

2) WINDOWS:

All window header heights 84" from subfloor UON
Provide one Egress window at all bedrooms.
Minimum Egress opening dimensions: Height: 24", Width: 20", 4.5 sq ft
Maximum Egress sill height: 44"

3) VENTED EXHAUST FANS:

Vented Exhaust Fans located as indicated by  terminate through roof or through floor rim as indicated by arrows and may not terminate within 36" of any opening which allows air into occupied area.
Where no arrow is indicated, exhaust fan vents straight up through roof.
Provide backdraft damper.

4) DRYER VENT

Dryer vent terminates Floor rim below to exterior wall as indicated by arrow.
Maximum dryer vent duct: 25', allow 5' for each elbow.
Dryer vent may not terminate within 36" of any opening that allows air into occupied area.
Provide backdraft damper
Provide 100 sq in make-up air

5) STAIRS and BALCONIES:

Install minimum 1/2" drywall, firetaped, all surfaces under stairs if enclosed and accessible.
Provide Handrail minimum 34", maximum 38" from stair nosing.
Provide minimum 36" half wall or guardrail at open landings and balconies.
Minimum Riser: 8", Minimum Tread: 9", Maintain Minimum 6'-8" Head Clearance

6) SMOKE DETECTORS:

Located as indicated by  Interlinked together and to all other floors with battery back-up

7) DISHWASHER

Provide air gap device at dishwasher.

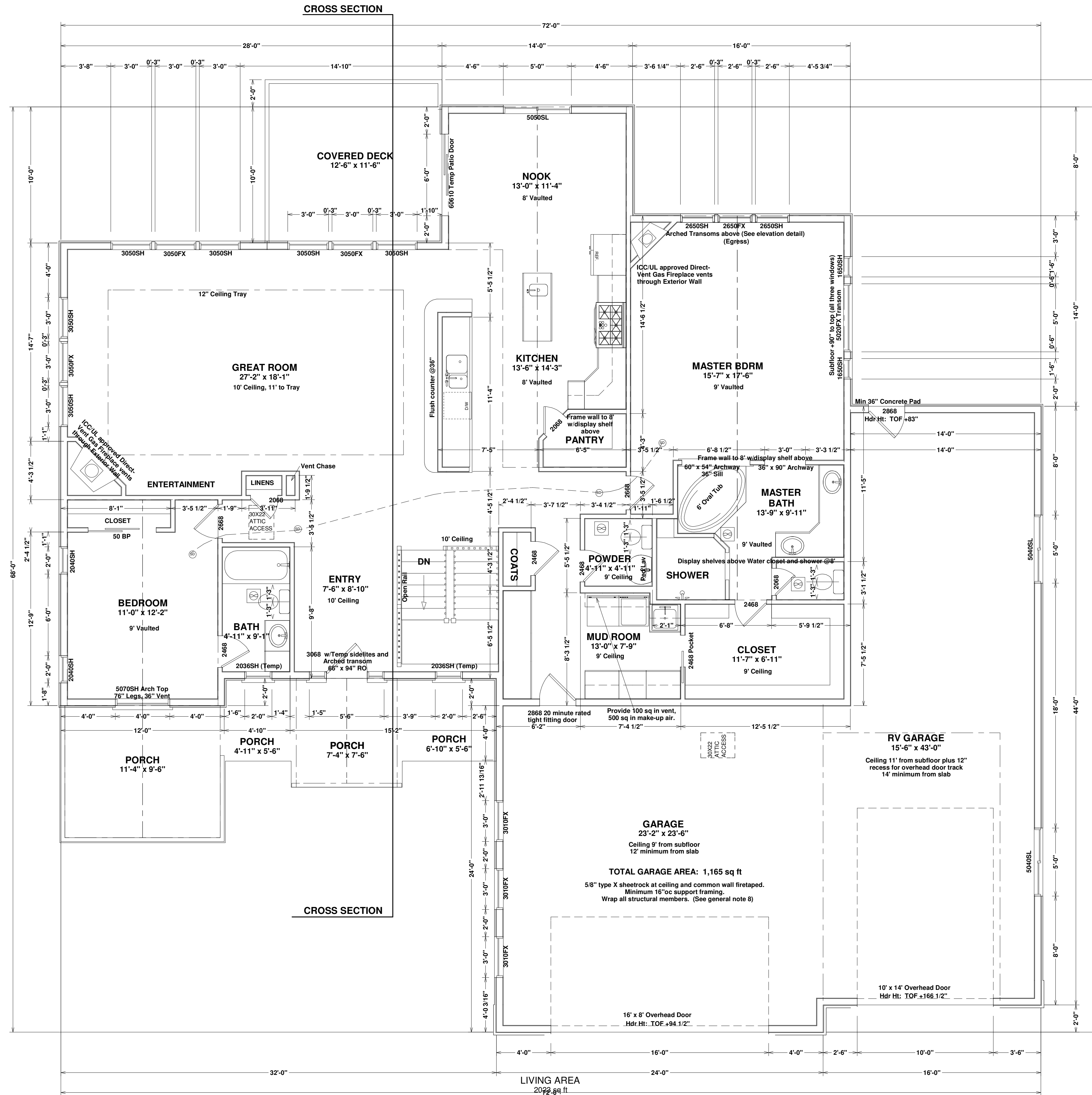
8) GARAGE

5/8" type X sheetrock at ceiling and common wall firetaped.
Wrap all structural members.
Provide minimum 1/8" slope per 1' at floor for drainage.

9) ARCH RADIUS

Use opening width for arch radius at all arched windows and archways.

10) Provide low resistance return air path to all closed rooms. Recommend 1" clearance at bottom of door.

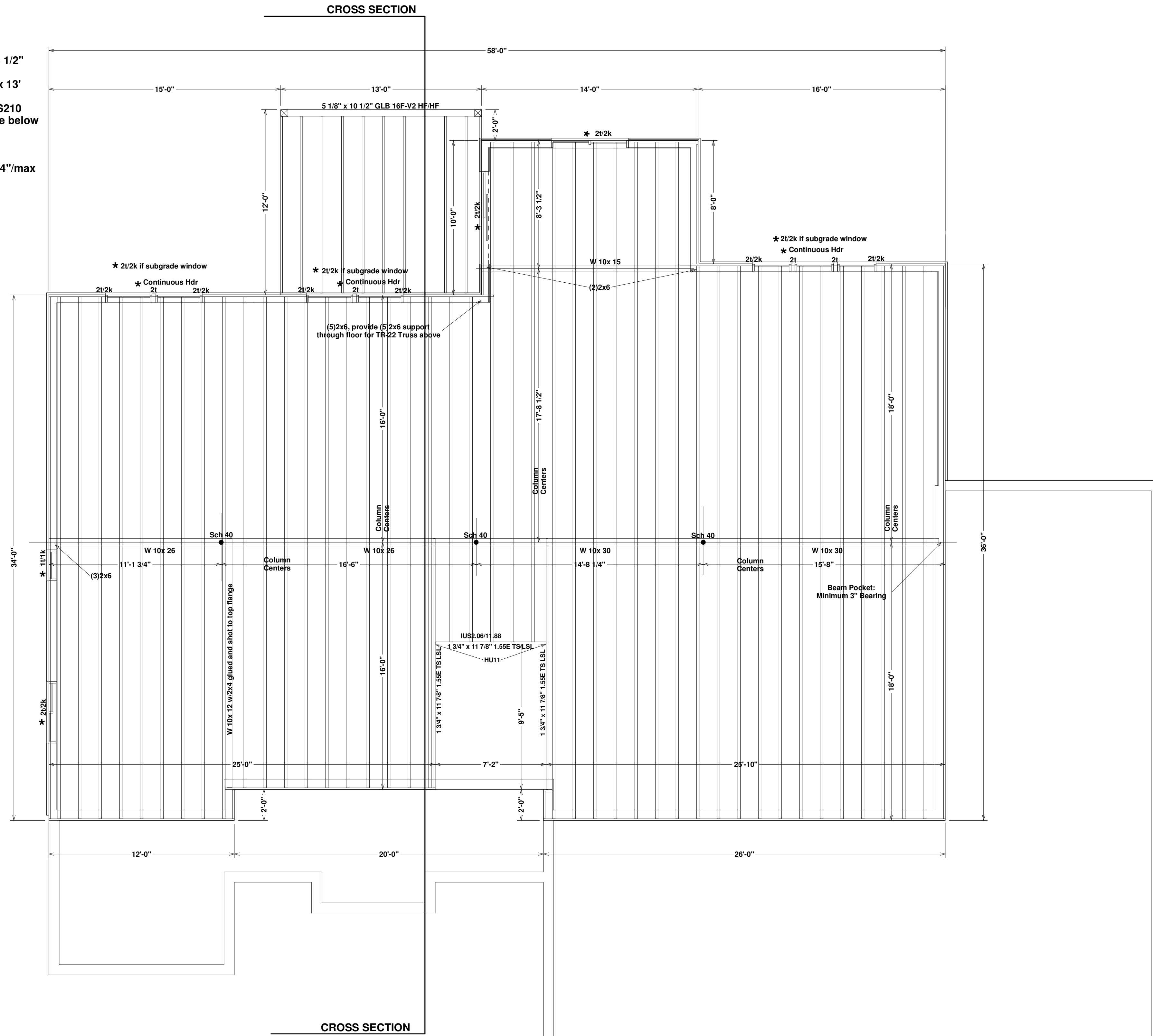


SCALE: 1/4" = 1'

DECK FRAMING

- 1) Ledger: 2x10 to Floor Rim w/(3)galv 12d and (2)3/8"x4 1/2" lags@16"oc (typ). 66 psf (Tributary load)
- 2) Structural Rim: 5 1/8" x 1 1/2" GLB 16F-V2 HF/HF Max 13' Span (Flush) UON
- 3) Deck Joist: 2x10@16"oc to rim, beam or ledger w/LUS210
- 4) Columns: 6x6 or (3)2x6 to beam w/BC4, to concrete below w/EPB66 (typ) UON
- 5) Decking: 2x6 Trex
- 6) Guardrail: Min 36" Rail with Max 4" openings
- 7) Stairs: Min 9" Tread, Max 8" Riser with handrail min 34"/max 38" from nose if any.

DESIGN LOADS:
 Live Load: 40psf
 Dead Load: 15psf
 Total Load: 55psf
 Ledger: 66psf (Tributary Area)



FLOOR FRAMING PLAN

SCALE: 1/4" = 1'

- 1) Joist: 11 7/8" BCI 6000 @16"oc w/IUS2.06/11.88 hangers
- 2) Rim: 11 7/8" Timberstrand or equivalent (Typ) UON
- 3) Framed Walls: 2x6@16"oc (if any)
- 4) (1)1 3/4" x 11 7/8" 1.55E TS LSL at all stairwell surfaces UON
- 5) * Default Header: 3 1/2" x 5 1/2" 1.3E LSL 2t/2k UON
- 6) • Default Column: 3" dia adjustable steel column UON, SCHEDULE 40 where indicated.
- 7) Stair Landings: 2x8@16"oc to (2)2x8 rims w/LUS26. Support basement landings from top of foundation wall w/WB straps
- 8) Dimensions:
 Framing: Rim to rim
 Columns and Beam Pockets: Framed wall exterior or Concrete surface to center
 Stairwell: Rim or exterior of concrete wall surface to stairwell surface
- 9) DESIGN LOADS:
 Live Load: 40 psf
 Dead Load: 10 psf
 Total Load: 50 psf

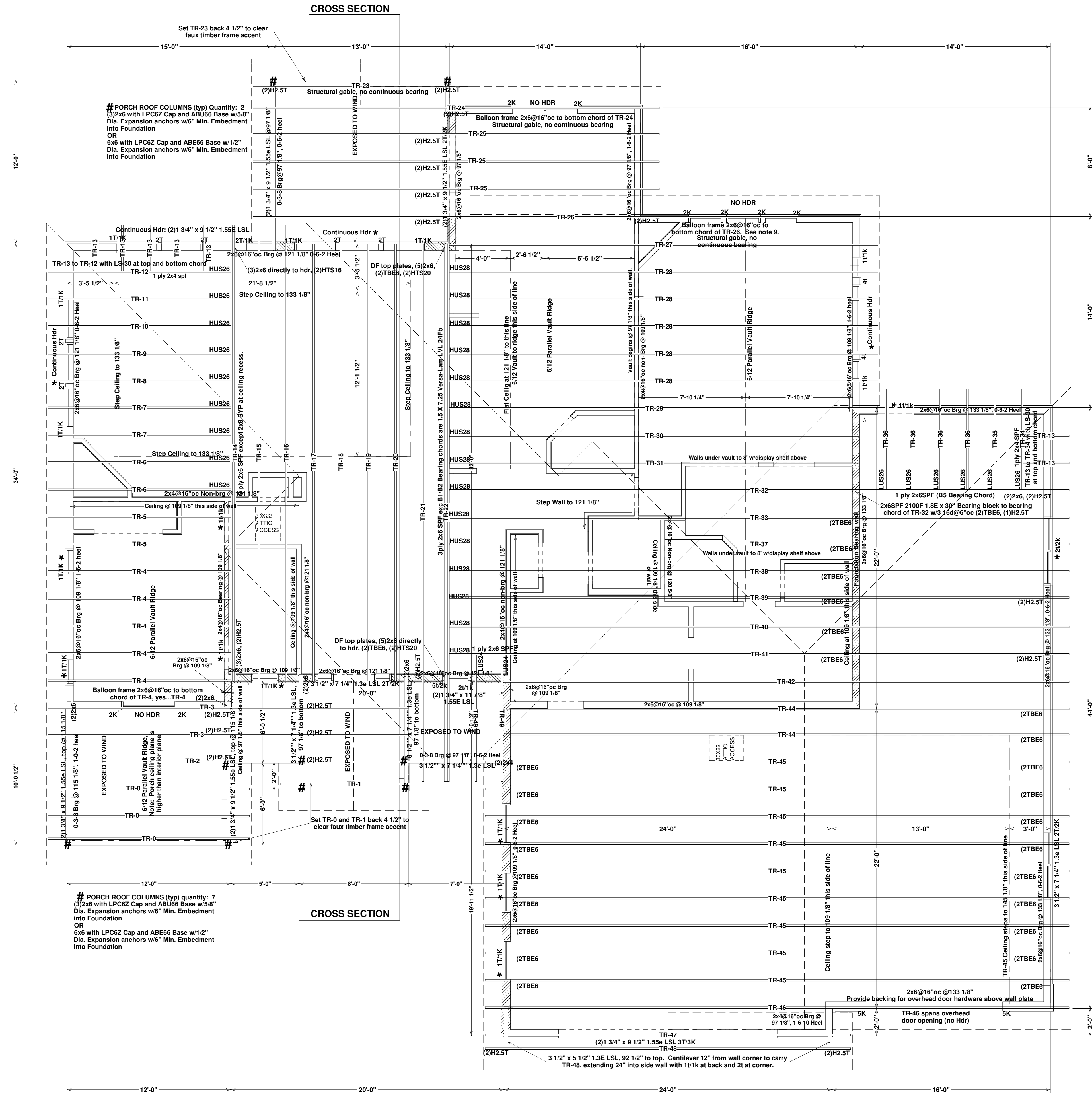
ROOF FRAMING PLAN

SCALE: 1/4" = 1'

- 1) 6/12 Pitch 0-6-2 heel w/16 1/2" plumb cut 2x6 tails UON. Specific heels heights indicated on plan are for total heel.
- 2) Gable trusses: Continuous bearing available except where noted otherwise, 18" gable eave overhang.
- 3) Use (1)H2.5T at all truss and Rafter Bearings UON
- 4) * Default Header: 3 1/2" x 5 1/2" 1.3E TS LSL 11/1k UON
Header Ht: 84" UON.
- 5) Exterior Walls: 2x6 @16"oc, 0-5-8 bearing, DF top plates recommended UON.
Garage Exterior walls: 2x6@16"oc, 0-5-8 bearing UON.
Hatched walls indicate Interior Bearing: 2x4@16"oc 0-3-8 bearing UON
- 6) Provide sheathing under all valley trusses (if any).
- 7) Truss Blocking where heel is greater than 8" (0-8-0)
- 8) Wall Heights indicated are relative to Main Level Framed Subfloor UON.
- 9) Balloon frame to bottom chord of vaulted trusses: 2x6@16"oc up to 15', 12"oc over 15', UON.
- 10) Provide ice and water shield protection from edge of eave to 24" from outside of exterior wall at elevations above 7,000 ft.

DESIGN LOADS: Over 7,000 ft elevation w/asphalt shingle roofing
 Live Load: 40psf
 Snow:
 Flat Roof (Pf): 40psf
 Unbalanced (pg): 27psf
 Dead Load: 15psf
 Total Load: 55psf
 Wind: 100 mph exposure C

Hangers and hardware indicated using Simpson part numbers.
 Engineering and design is based on each manufacturer's design criteria.
 Manufacturer's design criteria supercedes cross reference schedules.



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Notes and Revisions:

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 719-964-2568

Plot Date: 12/17/2010

Sheet: 6 of 8

Revision:

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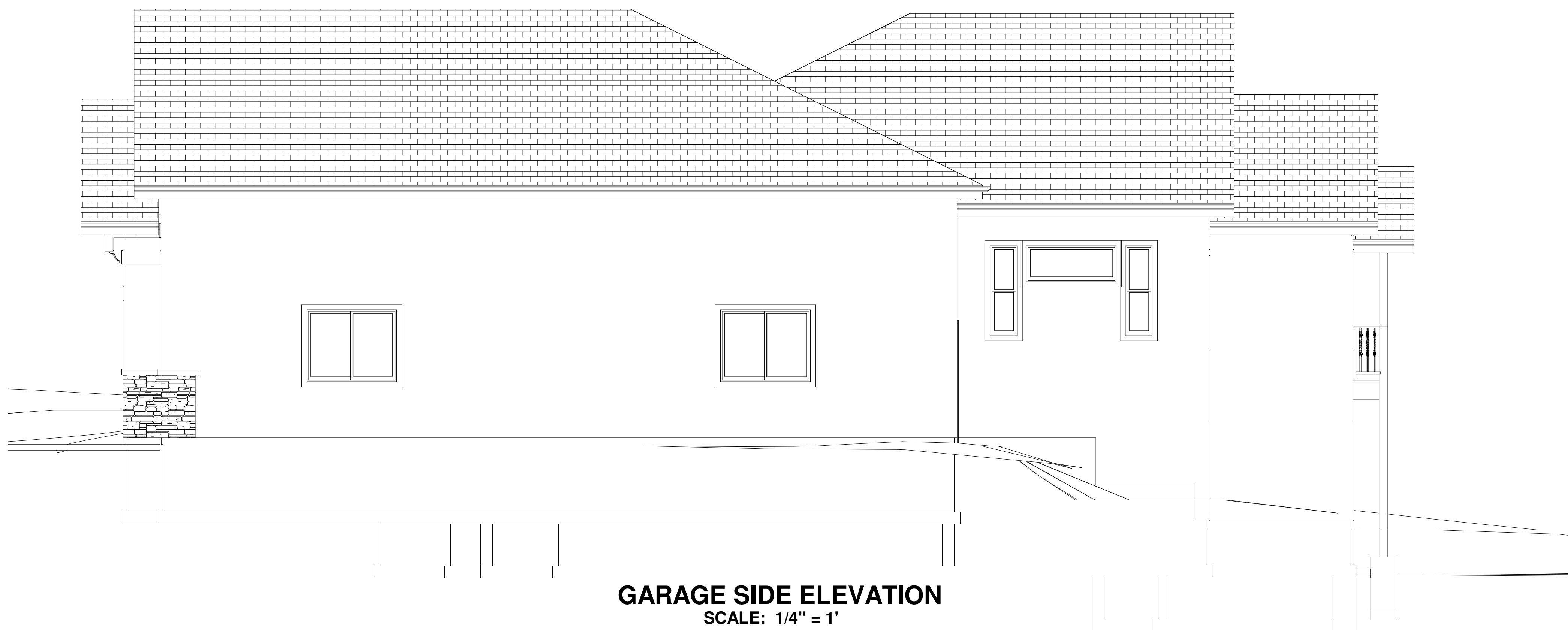
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FRONT ELEVATION

SCALE: 1/4" = 1'



GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'

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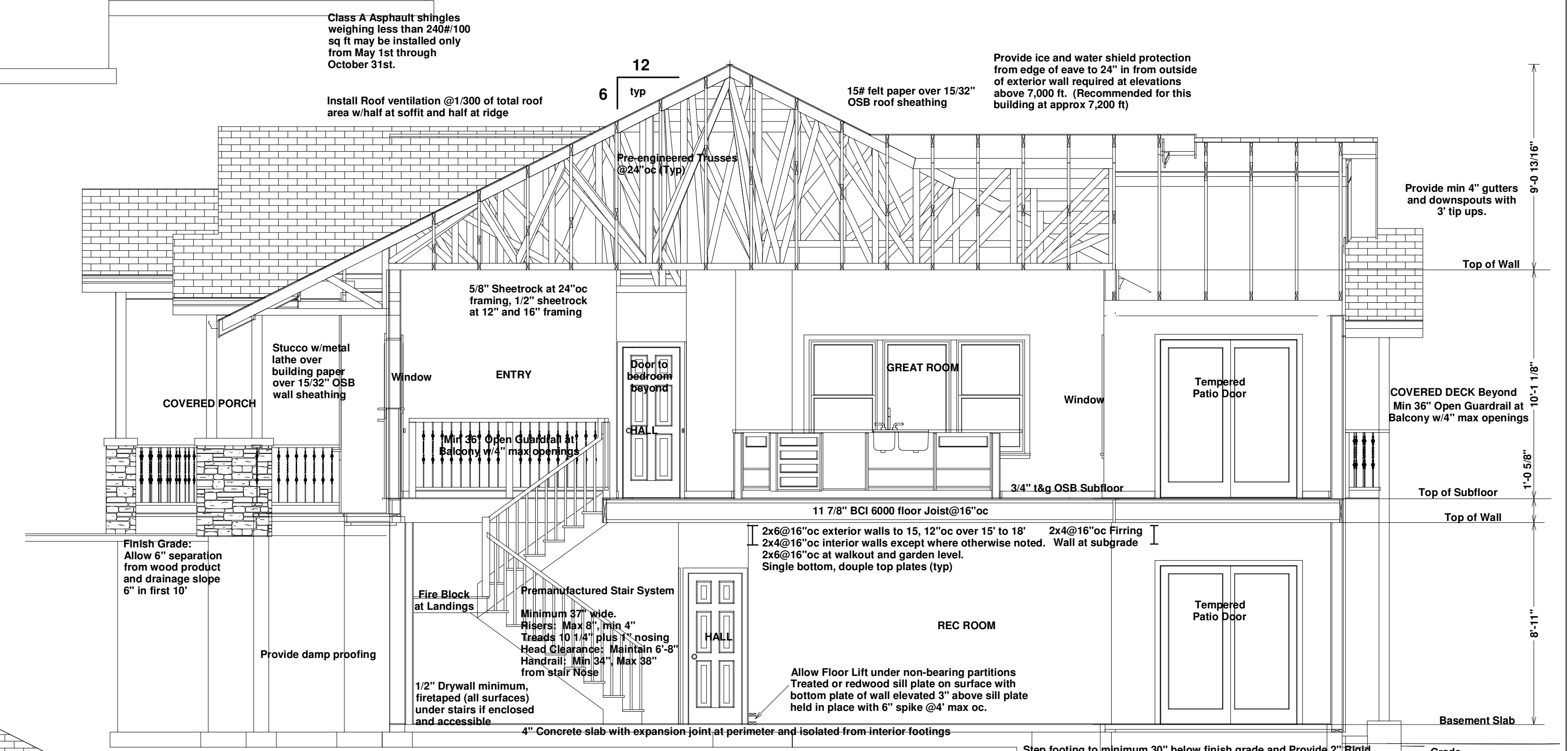
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SIDE ELEVATION
 SCALE: 1/4" = 1'



CROSS SECTION
 SCALE: 1/4" = 1'



REAR ELEVATION
 SCALE: 1/4" = 1'

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