

Development Services approval is contingent upon compliance with all applicable notes on the recorded plat.

An access permit must be granted by the Development Services Engineering Division prior to the establishment of any driveway onto a County Road.

Diversion of blockage of any drainage way is not permitted without the approval of the Development Services Engineering Division.

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBLVATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATIONS

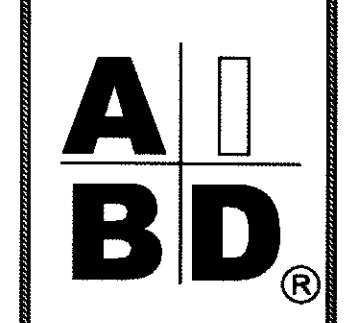
BESQCP APPROVED
by *[Signature]* on 10/3/12

PAID
11/14/12

APPROVED FOR NOTES
DATE 10/3/12
NOTES New SFD
EL PASO COUNTY DEVELOPMENT SERVICES

DENIED

SCANNED



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- SPECIFICATIONS:**
- 1) Typical exterior walls shall be 2x6 studs at 16" o/c with insulation as per Energy Calcs. Studs shall be sheathed with 7/16" OSB typical. Exterior finish materials shall be as per elevation pages. See elevation pages for additional information.
 - 2) Typical floor framing shall be 11-7/8" TJI 210 joists at 16" o/c. Floor sheathing shall be 3/4" OSB (tongue and groove) glued and nailed to floor joists per American Plywood Association specifications and recommendations.
 - 3) Typical headers are (2) 2x6 HF192 w/ full OSB flushfiller.
Use (1) trimmer and (1) kingstud at all openings from 0'-0" to 3'-11".
Use (2) trimmers and (2) kingstuds at openings from 3'-11" to 5'-11".
Use (3) trimmers and (3) kingstuds at openings from 5'-11" to 7'-11".
All others are noted. Beams and headers shown on the framing plan shall have precedence.
 - 4) All interior walls shall be 2x4 studs at 16" o/c (typical), unless noted to the contrary.
 - 5) Typical wall finish shall be textured 1/2" gypsum board. Use 5/8" type "X" gypsum board at all garage common walls, ceilings, & structural members.
 - 6) All stairs or steps to grade shall have a maximum rise of 7 1/2" and a minimum run of 10". All stairs shall be a minimum of 3'-1" wide, to include landings.
 - 7) Windows shall be by builder with double pane insulated low E glass. All windows must have a U-value as specified in the Energy Calcs. (.35 Min)
 - 8) Fascia shall be 5/4"x9 1/2" textured ProTrim over 2x6 sub-fascia. Soffit material shall be 7/16" masonite (typical). At gables, overlay fascia w/3/2" ProTrim.
 - 9) The roof covering for this building shall be Class 'A' asphalt shingles. Asphalt shingles weighing less than 240#/100 sq.ft. may only be installed between May and October. For elevations 7000' and greater, ice & water shield required starting at eave and continuing to a point 2' inside exterior wall line. All gutters shall be 5" (self-flashing) pre-primed with minimum 36" lip-outs. (Solid flex pipe to daylight is highly recommended.)
 - 10) Exhaust duct up through attic space, minimum R-6 insulation & 25' max run.

PUD
Plat 12169
Dist. 2
SFD-12-682

Code Information:

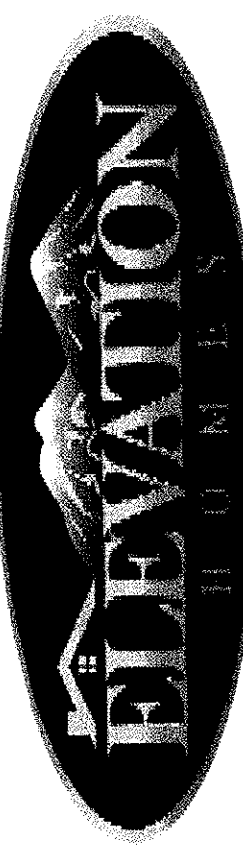
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*	As amended by 2011 PPRBC
**	Or the latest edition adopted by the State of Colorado

Structural Design Loads:

	Live Load	Dead Load	Total Load
Floor	40 psf	16 psf	56 psf
Roof	40 psf	16 psf	56 psf
Wind	100 mph - Exposure 'C'		
Deck	60 psf	10 psf	70 psf
Deck Ledger	70 x 1.2 = 84 psf		

AREA TABLE:

LOWER LEVEL (UNFINISHED)	209 Sq.Ft.
LOWER LEVEL (FINISHED)	1,770 Sq.Ft.
MAIN LEVEL FLOOR PLAN	1,979 Sq.Ft.
UPPER LEVEL FLOOR PLAN	N/A
TOTAL FINISHED	3,749 Sq.Ft.
GARAGE	1,488 Sq.Ft.
COVERED PATIO	152 Sq.Ft.
COVERED PORCH	219 Sq.Ft.
LOT SIZE	1.05 Acres 45,738 Sq.Ft.
LOT COVERAGE	3,838 Sq.Ft.
LOT COVERAGE PERCENTAGE	8%±



THE NICHOLS' RESIDENCE
12034 Black Hills Drive
Peyton, Colorado 80831
Plat 325 Meridian Ranch Fil No X-2
Schedule # 4219202009

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RBD CONSTRUCTION
RBD

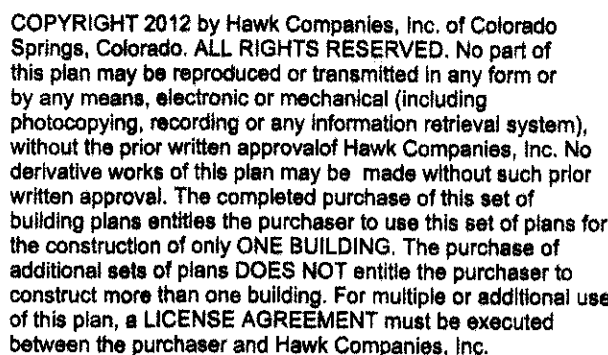
REVISIONS

Nighthawk Design
a Hawk Companies, Inc. Business
2848 Country Club Drive, Colorado Springs, Colorado 80909-1019
Rod Wiabe Dennis Asher
rod@hawkcompanies.com 719.477.9441 [fax]

9715 Kings Canyon Drive
Peyton, Colorado 80831
TIM TOUSSAINT
719-510-6253



CCAF, 4/11 - 4/11



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- 2) Typical floor joists shall be 11-7/8" TJI 210 joists at 16" o/c. Floor sheathing shall be 3/4" OSB (tongue and groove) glued and nailed to floor joists per American Plywood Association specifications and recommendations
- 3) Typical headers (2) 2x6 studs w/ full OSB flitch/ply:
 - Use (1) trimmers and (2) kingstuds at openings from 0'-0" to 3'-11".
 - Use (2) trimmers and (2) kingstuds at openings from 3'-0" to 5'-11".
 - Use (3) trimmers and (3) kingstuds at openings from 5'-11" to 7'-11".

All others not noted. Beams and headers shown on the framing plan shall have precedence.

- 4) All interior walls shall be 2x4 studs at 16" o/c (typical); unless noted to the contrary.
- 5) Typical wall finish shall be textured 12" gypsum board. Use 5/8" type "X" gypsum board.
- 6) All stairs or steps to grade shall have a maximum rise of 7 7/8" and a minimum run of 10". All stairs shall be a minimum of 3'-1" wide, to include landings.
- 7) Windows shall be by builder with double pane insulated low E-glass. All windows shall have a full radius.
- 8) Fascia shall be 5/4"x12" textured ProTrim over 2x6 sub-fascia. Soffit material shall be 7/16" masonite (typical). At gables, over fascia w/3/32" ProTrim. The roof covering for this building shall be Class "A" asphalt shingles. Asphalt shingles shall be installed in accordance with manufacturer's instructions and October. For elevations 7000' and greater, ice & water shield required starting at eave and continuing to a point 2' inside exterior water line. All gutters shall be 5" (seal-fashing) pre-pri-med with minimum 36" tie-ins. Soffit flex pipe to daylight is highly recommended.
- 9) Exhaust duct up through attic space, minimum R-6 insulation & 2'x5 max run.

The contractor and homeowner shall review and verify all information on these drawings and be responsible for the same. Report all discrepancies to the designer for proper adjustment.

All smoke detectors (SD) must be interconnected (Hardwired) and shall have battery back-up.

LP gas-burning appliances are not permitted in basement or crawl space areas. All gas lines, licensed electrician or engineer shall design all footings and foundation walls. This report must be incorporated with these drawings and shall be available at the building site at all times.

All foundations and piers (including deck supports) shall bear on undisturbed soil.

Foundations and piers shall be protected with a minimum earth cover of 30" for frost protection.

All dimensions shown on these drawings are to face of framing members unless specifically indicated to the contrary. Noted dimensions shall take precedence over dimensions shown on the drawings.

All structural hardware shown on these drawings shall be as manufactured by Simpson Strong-Tie Company of San Leandro, California. The home designer prior to installation shall approve any substitutions.

Minimum ceiling elevation shall be 8' above attic space with 50% located at the exterior wall and 50% located at the upper portion of the area to be ventilated. A minimum of 1 inch of air space shall be provided between the insulation and the roof sheathing at eaves. (Compliance with 2009 IRC R806.2 is mandatory)

Provide "Low Resistance" relative humidity and moisture closed rosin.

Dryer to vent exterior "36" from any openings.

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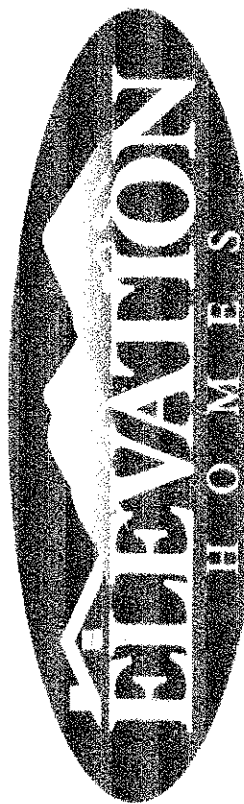
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12034 Black Hills Drive
Peyton, Colorado 80831
325 Meridian Ranch Fil No 1
Schedule # 4219202009

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PAGE 2

Oct 02, 2012



9715 Kings Canyon Drive
Peyton, Colorado 80831

TIM TOUSSAINT

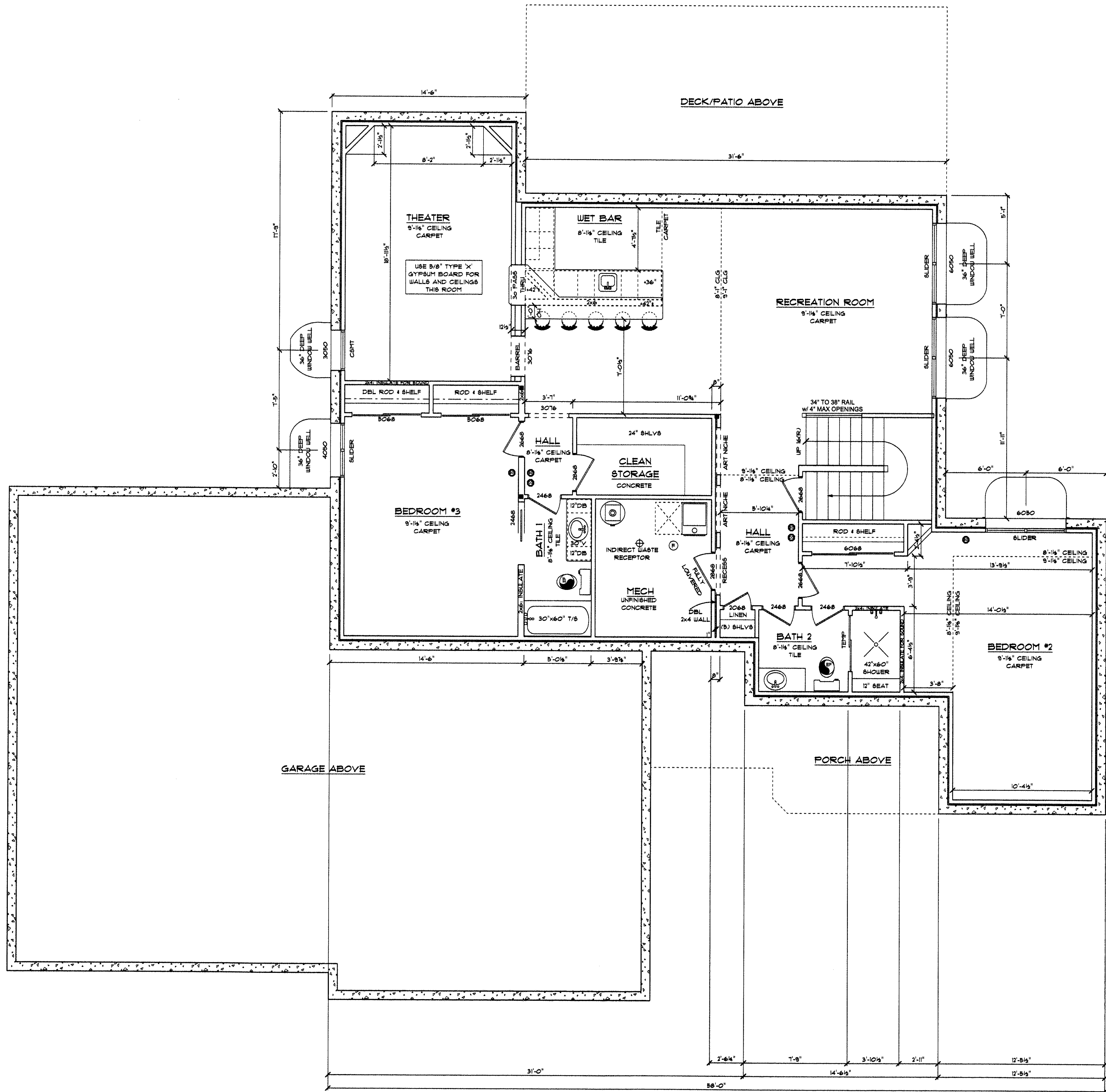
Nighttawk

a Hawk Companies, Inc. Business

2848 Country Club Drive, Colorado Springs, Colorado 80909-1019

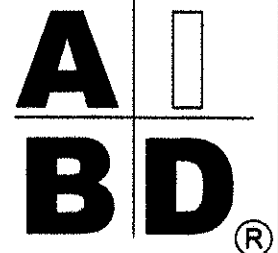
Rod Wiebe **Dennis Asher**

719.477.9460 [office] rod@hawkcompanies.com 719.477.9441 [fax]



Lower Level Floor Plan

SCALE: 1/4" = 1'-0"



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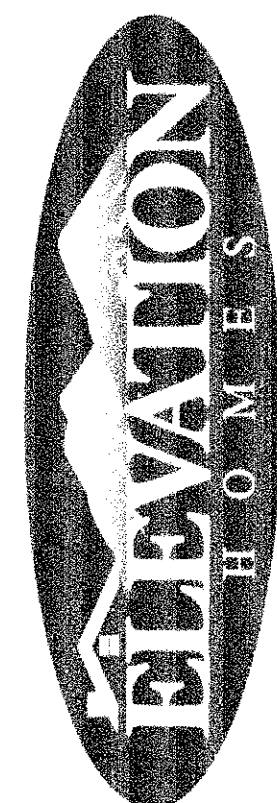
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TIM TOUSSAINT
719-510-6253

THE NICHOLS' RESIDENCE

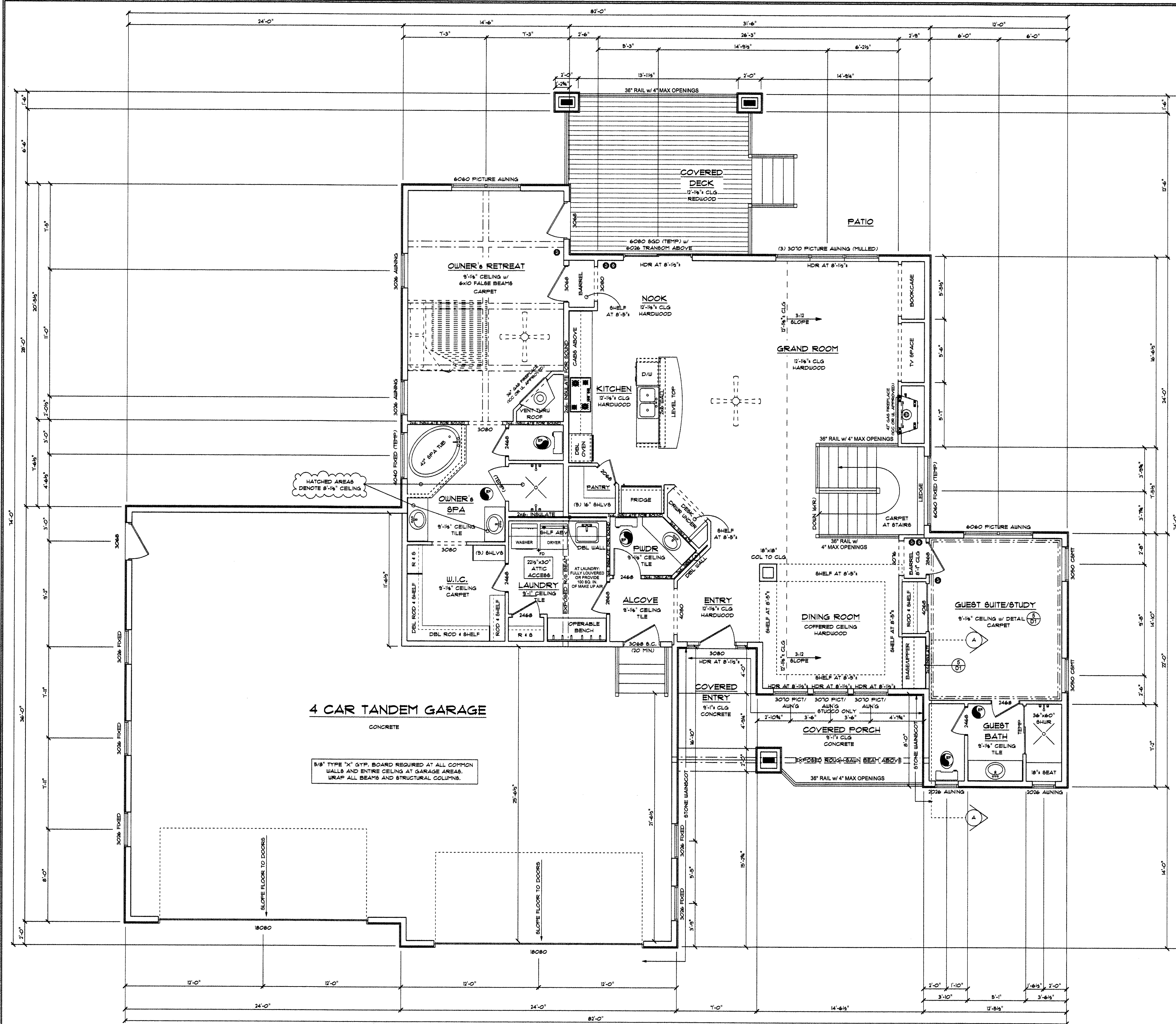
12034 Black Hills Drive
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Lot 325 Meridian Ranch Fil No 1
Schedule # 4219202009

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DEC 12 2012
SAS
RBD CONSTRUCTION

REVISIONS	DATE
RBD COMMENTS	11-26-12
BUILDER CHANGE	11-26-12

Nighthawk Design
a Hawk Companies, Inc. Business

2848 Country Club Drive, Colorado Springs, Colorado 80909-1019
Rod Wiebe Dennis Asher
rod@hawkcompanies.com 719.477.9441 [fax]



A

BD

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STANDARD ROD & SHELF HEIGHTS
SINGLE ROD & SHELF = 68" AFF
DOUBLE ROD & SHELF
TOP ROD & SHELF = 81" AFF
BOTTOM ROD & SHELF = 41" AFF

Main Level Floor Plan
SCALE: 1/4" = 1'-0"

Night Hawk

Design

a

Hawk Companies, Inc. Business

2848 Country Club Drive, Colorado Springs, Colorado 80909-1019
Dennis Asher
Rod Wiebe
rod@hawkcompanies.com 719.477.9441 [fax]

ELEVATION

HOME S

9715 Kings Canyon Drive
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THE NICHOLS RESIDENCE

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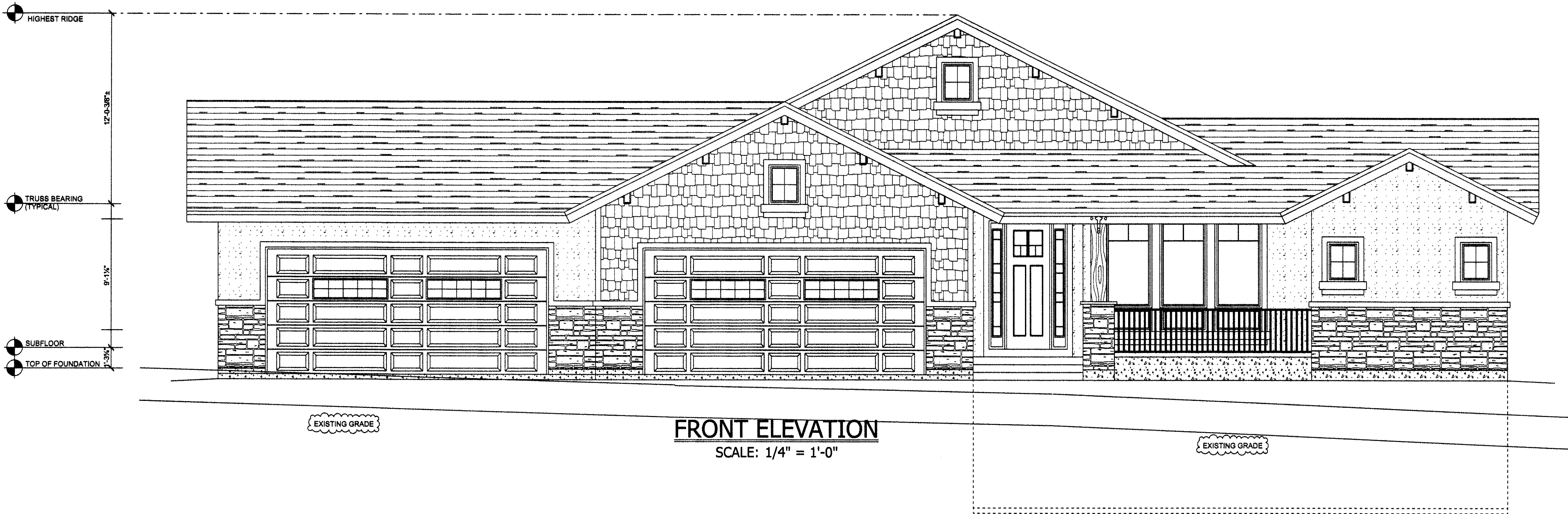
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PAGE 4

Oct 02, 2012

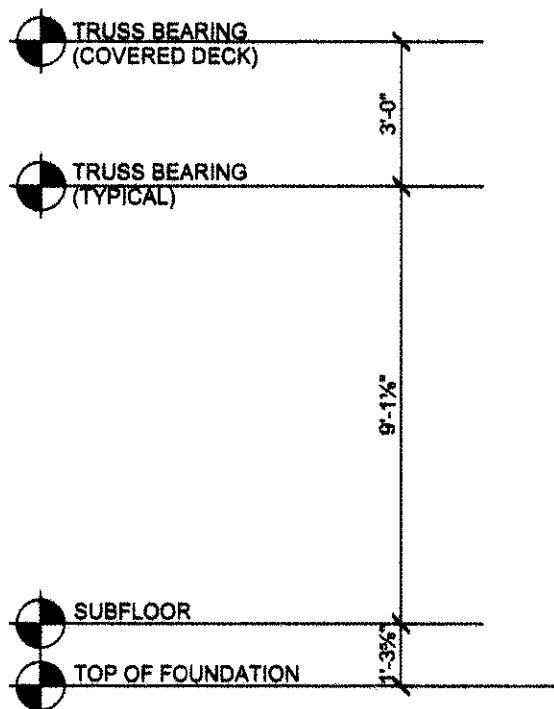


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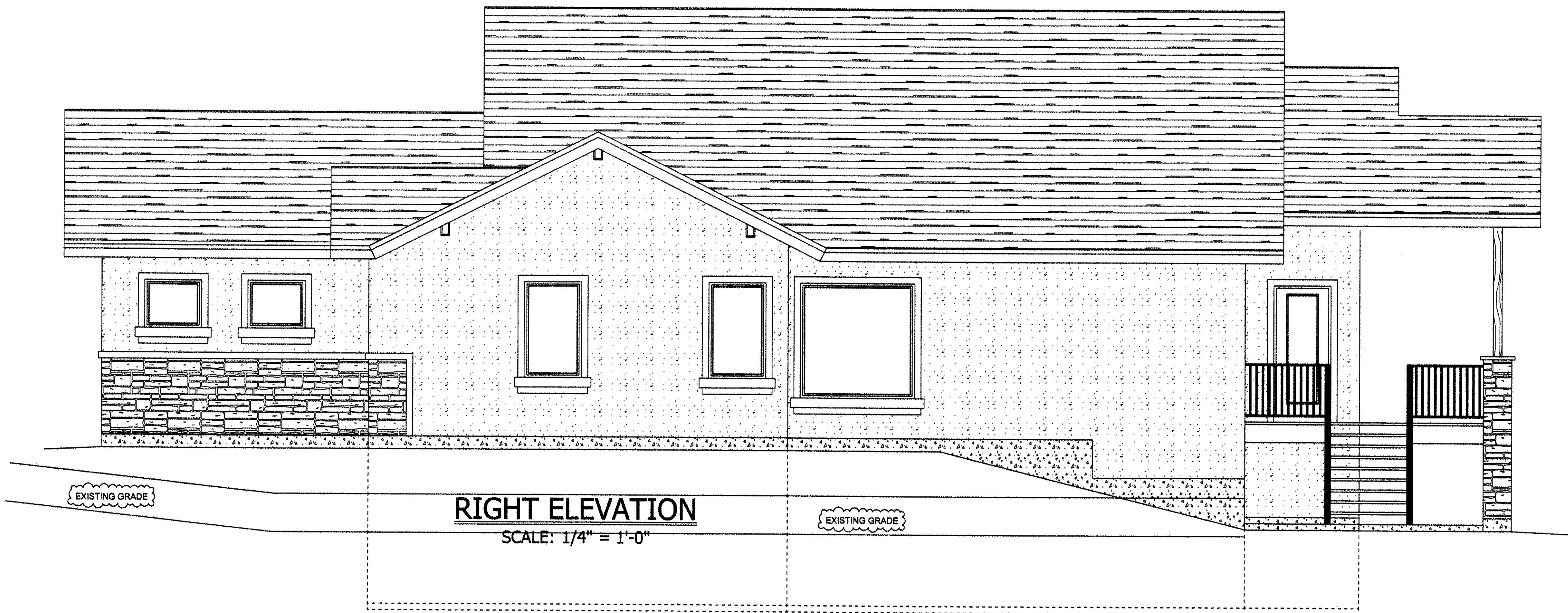
Oct 02, 2012

PAGE 5

REVISIONS	DATE
RBD COMMENTS	11-26-12
BUILDER CHANGE	11-26-12



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

A
B
D

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SPECIFICATIONS:

- 1) Typical exterior walls shall be 2x6 studs at 16" o/c with insulation as per Energy Calcs. Studs shall be sheathed with 7/16" OSB typical. Exterior finish materials shall be as per elevation pages. See elevation pages for additional information.
- 2) Typical floor framing shall be 11-7/8" TJI 210 joists at 16" o/c. Floor sheathing shall be 3/4" OSB (tongue and groove) glued and nailed to floor joists per American Plywood Association specifications and recommendations.
- 3) Typical headers are (2) 2x8 HF#2 w/ full OSB flitch/tiler.
Use (1) trimmer and (1) kingstud at all openings from 0'-0" to 3'-11".
Use (2) trimmers and (2) kingstuds at openings from 3'-11" to 5'-11".
Use (3) trimmers and (3) kingstuds at openings from 5'-11" to 7'-11".
All others are noted. Beams and headers shown on the framing plan shall have precedence.
- 4) All interior walls shall be 2x4 studs at 16" o/c (typical); unless noted to the contrary.
- 5) Typical wall finish shall be textured 1/2" gypsum board. Use 5/8" type "X" gypsum board at all garage common walls, ceilings, & structural members.
- 6) All stairs or steps to grade shall have a maximum rise of 7 1/2" and a minimum run of 10". All stairs shall be a minimum of 3'-1" wide, to include landings.
- 7) Windows shall be by builder with double pane insulated low E glass. All windows must have a U-value as specified in the Energy Calcs. (.35 Min)
- 8) Fascia shall be 5/4"x9 1/2" textured ProTrim over 2x6 sub-fascia. Soffit material shall be 7/16" masonite (typical). At gables, overlay fascia w/3/2" ProTrim.
- 9) The roof covering for this building shall be Class 'A' asphalt shingles. Asphalt shingles weighing less than 240#/100 sq.ft. may only be installed between May and October. For elevations 7000' and greater, ice & water shield required starting at eave and continuing to a point 2' inside exterior wall line. All gutters shall be 5" (self-flashing) pre-primed with minimum 38" lip-outs. (Solid flex pipe to daylight is highly recommended.)
- 10) Exhaust duct up through attic space, minimum R-6 insulation & 25' max run.

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Deck Ledger	70 x 1.2 = 84 psf		

AREA TABLE:

LOWER LEVEL (UNFINISHED)	209 Sq.Ft.
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MAIN LEVEL FLOOR PLAN	1,979 Sq.Ft.
UPPER LEVEL FLOOR PLAN	N/A
TOTAL FINISHED	3,749 Sq.Ft.
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LOT SIZE	1.05 Acres	45,738 Sq.Ft.
LOT COVERAGE		3,838 Sq.Ft.
LOT COVERAGE PERCENTAGE		8.4%



9715 Kings Canyon Drive
Peyton, Colorado 80831
TIM TOUSSAINT
719-510-6253

THE NICHOLS RESIDENCE

12034 Black Hills Drive
Peyton, Colorado 80831
Lot 325 Meridian Ranch Fil No 1
Schedule # 4219202009

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PAGE 6

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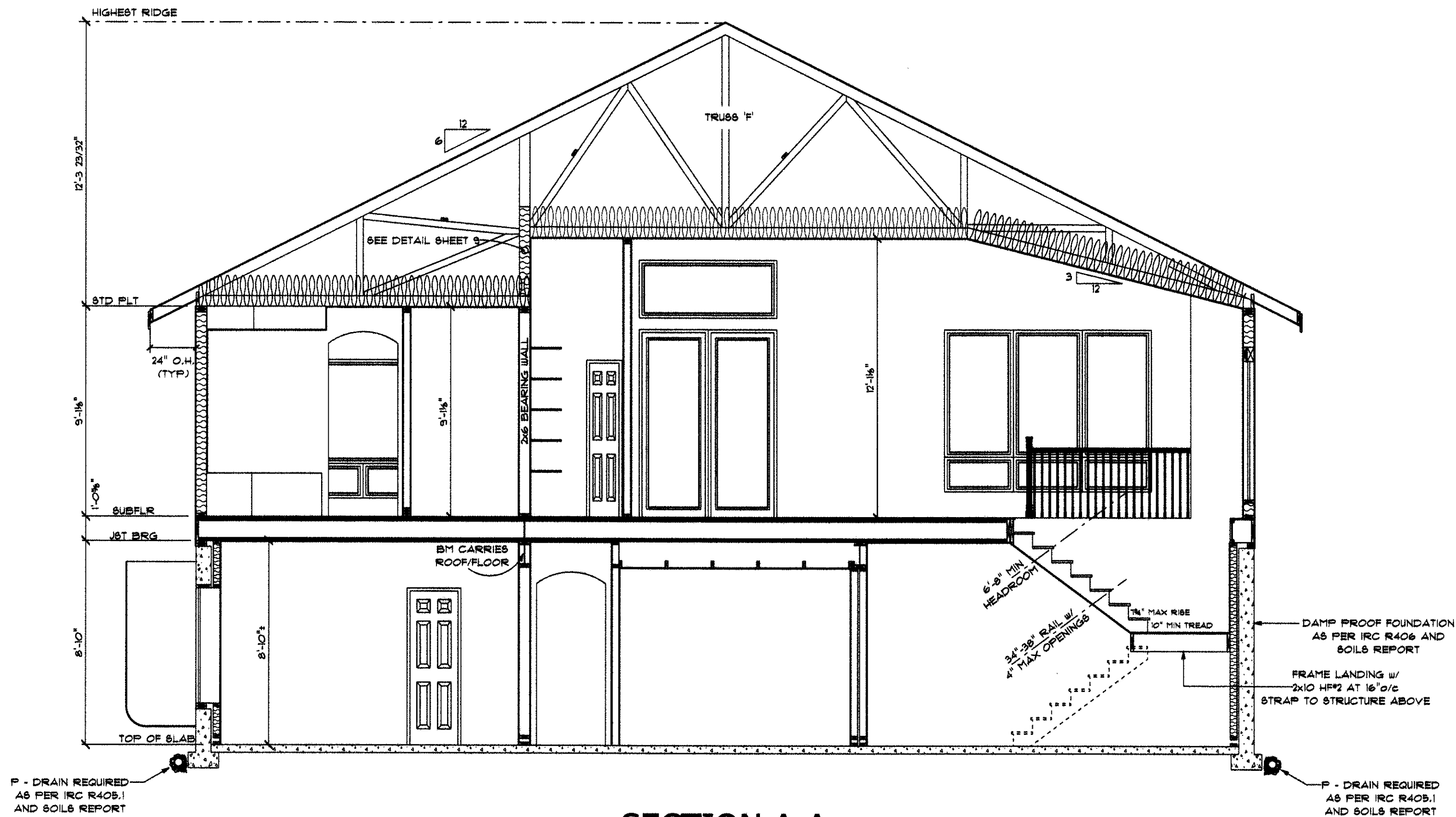
Night Hawk Design

a Hawk Companies, Inc. Business

2848 Country Club Drive, Colorado Springs, Colorado 80909-1019

Rod Wiebe Dennis Asher

719.477.9460 (office) rod@hawkcompanies.com 719.477.9441 (fax)



SECTION A-A
SCALE: 1/4" = 1'-0"

A
BD

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Night Hawk Design

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Rod Wiebe

Dennis Asher

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- Exhaust duct up through attic space, minimum R-8 insulation & 25' max run.

FLOOR FRAMING NOTES:

- Framer shall plate up foundation to insure headroom of 6'-8" from the bottom of the floor joists to the concrete slab at the unfinished basement. The minimum headroom under the lowest beam shall be 7'-11".
- Typical floor system shall be framed 11-7/8" TJI 210 joists @ 16" o/c. (Floor will be engendered to minimum of L/480 live load deflection.) Floor sheathing shall be 3/4" OSB (tongue and groove) glued and nailed to floor joists per American Plywood Association specifications and recommendations.
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Use (1) trimmer and (1) kingstud at all openings from 0'-0" to 3'-11".
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All others are noted. Beams and headers shown on the framing plan shall take precedence.
- All decks shall be framed with 2x12 HF#2 floor joists at 16" o/c. Support beams shall be as shown on the framing plan. All hangers for joists shall be Simpson LUS210. All deck joists within 18" of grade shall be treated material.
- Insulate all cantilevers and floor joists above unheated space with insulation as per Energy Calcs.

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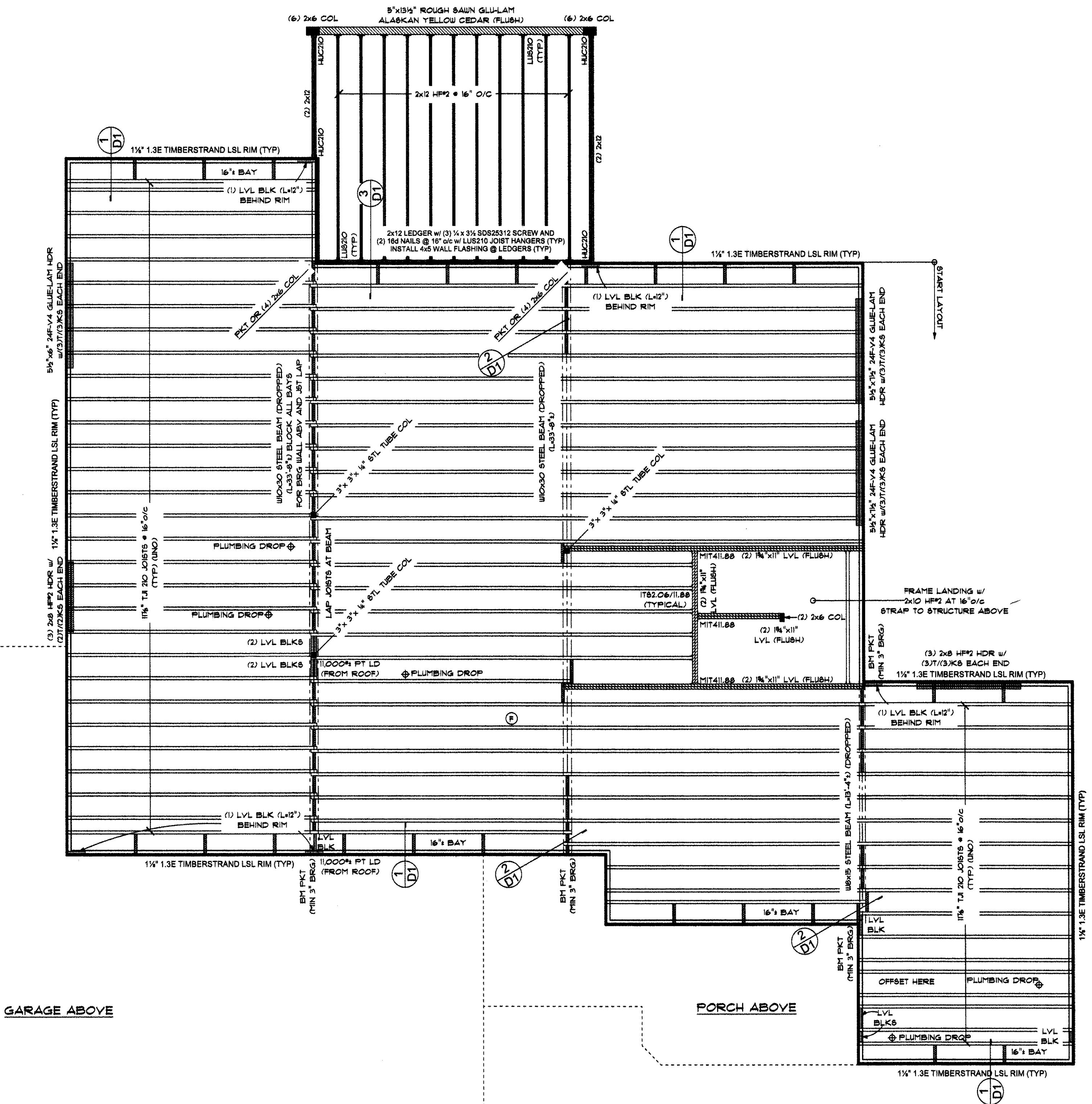
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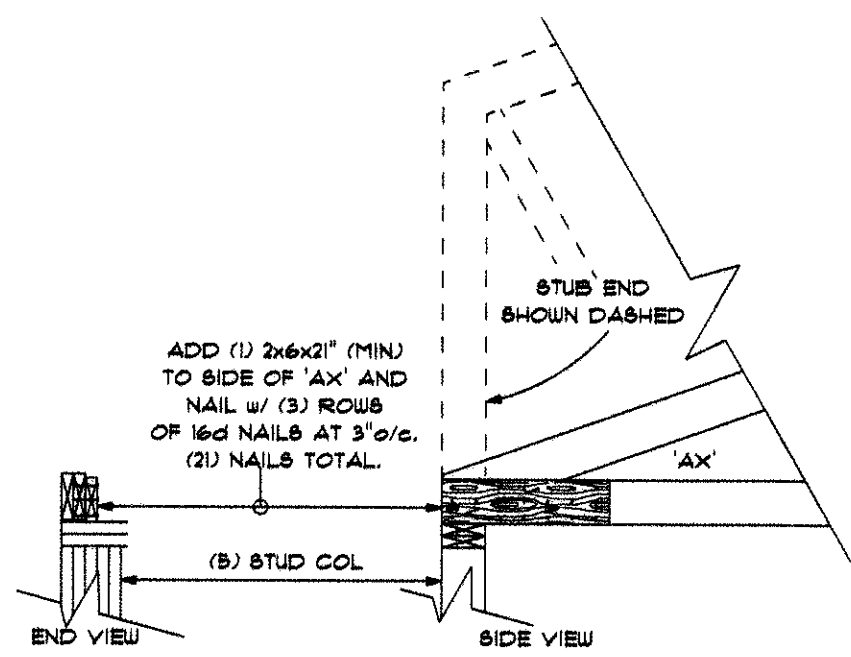
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PAGE 8 Oct 02, 2012

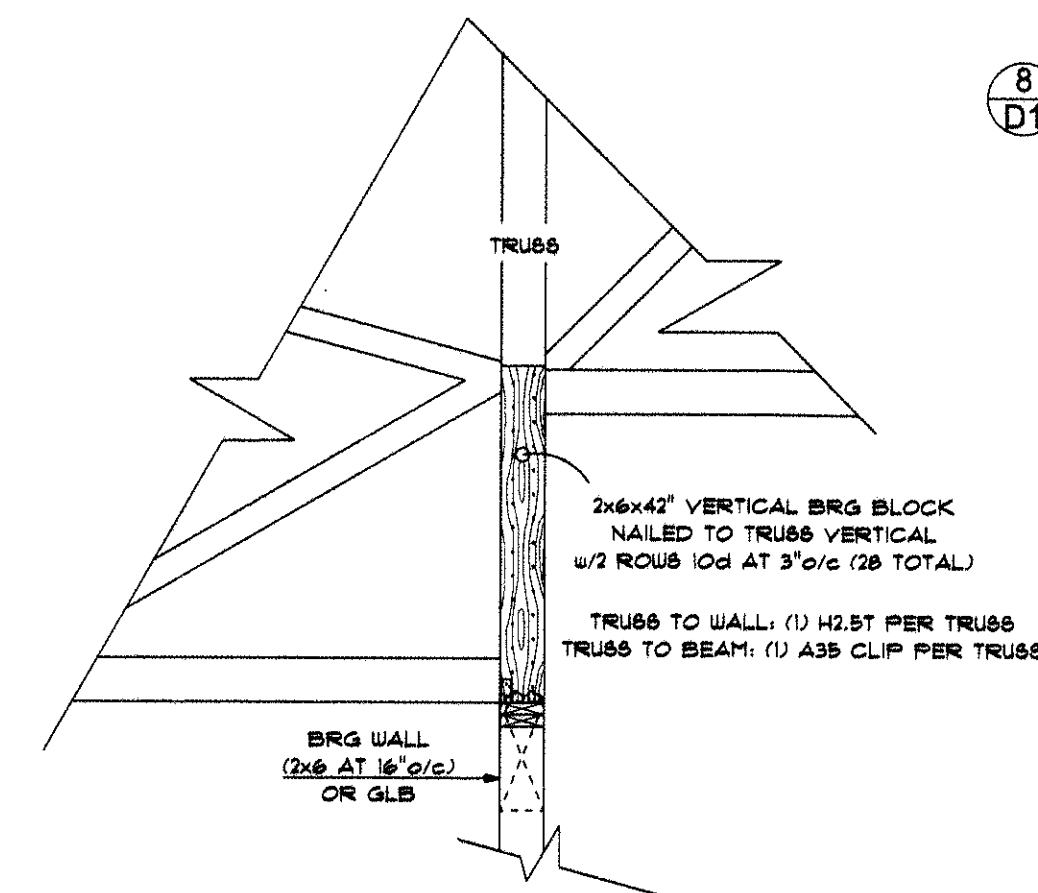
REVISIONS	DATE
RBD COMMENTS	11-26-12
BUILDER CHANGE	11-26-12



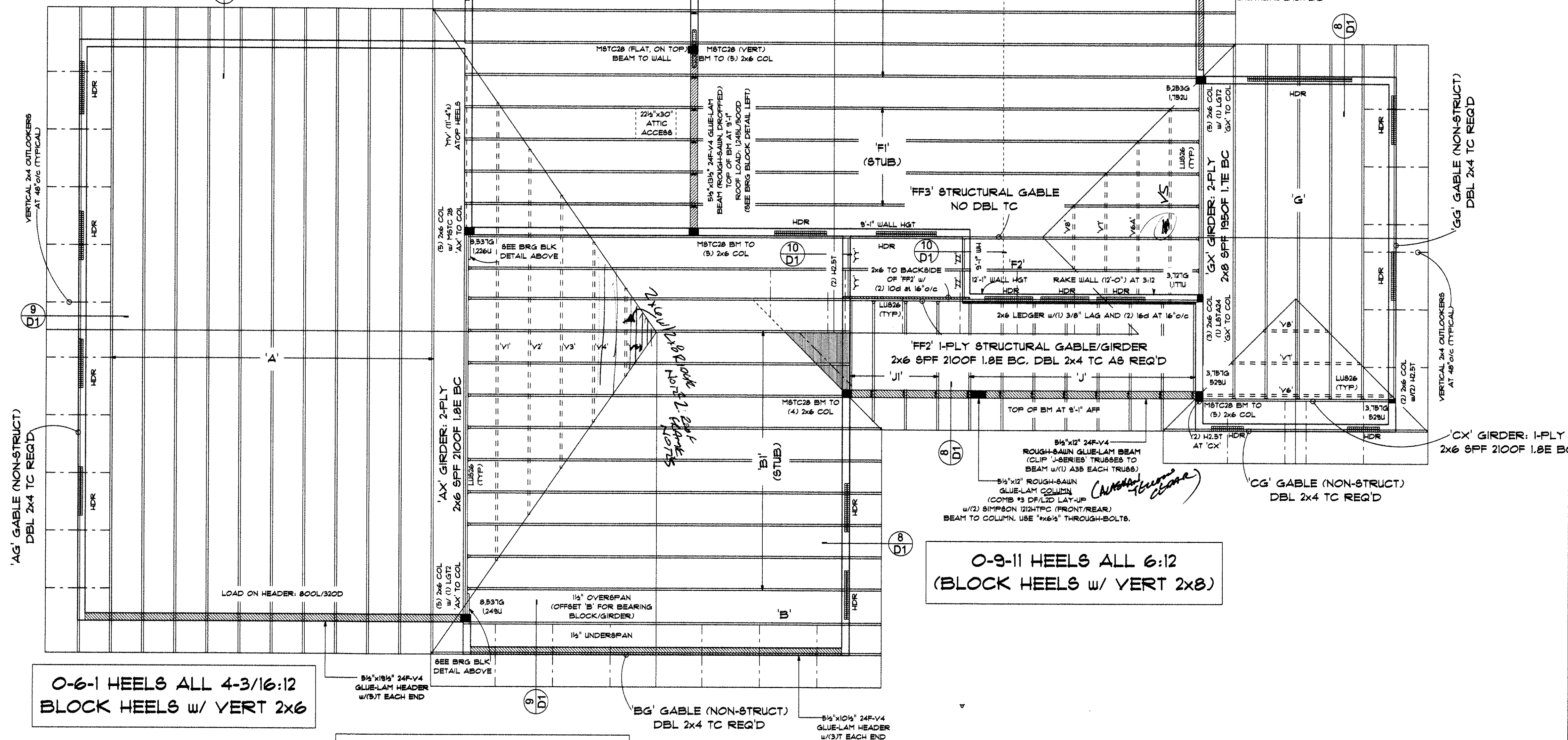
Main Level Floor Frame
SCALE: 1/4" = 1'-0"



BEARING BLOCK DETAIL
USE AT EACH END OF 'AX' GIRDER
SCALE: 1/2" = 1'-0"



BEARING BLOCK DETAIL
USE AT INTERIOR BEARING ALL 'F' AND 'F1' TRUSSES
SCALE: 1/2" = 1'-0"



O-6-1 HEELS ALL 4-3/16:12
BLOCK HEELS w/ VERT 2x6

SEE PORTAL FRAME DETAIL
ON SHEET D-1 FOR GARAGE
DOOR WALL FRAMING

O-9-11 HEELS ALL 6:12
(BLOCK HEELS w/ VERT 2x8)

Roof Frame
SCALE: 1/4" = 1'-0"

A B D

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- 2) Typical floor framing shall be 11-7/8" TJI 210 joists at 16" o/c. Floor sheathing shall be 3/4" OSB (tongue and groove) glued and nailed to floor joists per American Plywood Association specifications and recommendations.
- 3) Typical headers are (2) 2x8 HF #2 w/ full OSB flitch/tiler. Use (1) trimmer and (1) kingstud at all openings from 0'-0" to 3'-11". Use (2) trimmers and (2) kingstuds at openings from 3'-11" to 5'-11". Use (3) trimmers and (3) kingstuds at openings from 5'-11" to 7'-11". All others are noted. Beams and headers shown on the framing plan shall have precedence.
- 4) All interior walls shall be 2x4 studs at 16" o/c (typical), unless noted to the contrary.
- 5) Typical wall finish shall be textured 1/2" gypsum board. Use 5/8" type "X" gypsum board at all garage common walls, ceilings, & structural members.
- 6) All stairs or steps to grade shall have a maximum rise of 7 1/2" and a minimum run of 10". All stairs shall be a minimum of 3'-1" wide, to include landings.
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- 8) Fascia shall be 5/4"x9/16" textured ProTrim over 2x6 sub-fascia. Soffit material shall be 7/16" medium (typical). At gables, overlay fascia w/ 3/2" ProTrim.
- 9) The roof covering for this building shall be Class 'A' asphalt shingles. Asphalt shingles weighing less than 240#/100 sq. ft. may only be installed between May and October. For elevations 7000' and greater, ice & water shield required starting at eave and continuing to a point 2' inside exterior wall line. All gutters shall be 5" (self-flashing) pre-primed with minimum 36" lip-outs. (Solid flex pipe to daylight is highly recommended.)
- 10) Exhaust duct up through attic space, minimum R-6 insulation & 25' max run.

ROOF FRAMING NOTES:

- 1) All roof trusses shall be placed at 24" o/c (max) unless noted to the contrary. The typical standard truss heels for this job shall be 0-6-1 (4-3/16:12) and 0-9-11 (6:12). Please refer to roof framing plan which takes precedence.
- 2) Shaded areas indicate valleys. All valleys shall be framed with 2x6 HF #2 roof rafters at 24" o/c atop 2x valley pad while using 2x6 HF #2 ridge/hips. All members longer than 6'0" shall be supported to structural roof members below with 2x4 supports at 48" o/c (max). At indicated areas, use valley trusses at 24" o/c perpendicular to structural trusses below. Connect valley trusses with Simpson VCTR clips at 24" o/c per Simpson instructions (page 153).
- 3) Individual truss drawings, as noted, shall be labeled to match this plan and be submitted to the home designer for review prior to submission to the building dept. The governing authority for this project is: PIKES PEAK REGIONAL BUILDING DEPARTMENT.
- 4) Typical headers are 3 1/2" x 5 1/2" 1.3E Timberstrand. (Unless noted to the contrary.) Use (1) trimmer and (1) kingstud each end of all openings from 0'0" to 3'11". Use (2) trimmers and (2) kingstuds at all openings from 3'11" to 5'11". Use (3) trimmers and (3) kingstuds at openings from 5'11" to 7'11". All others are noted. Beams/headers shown on framing plan shall take precedence.
- 5) Simpson Strong-Tie Company of San Leandro shall manufacture all hardware shown on this plan. The home designer shall approve any substitutions prior to installation.
- 6) Structural roof members shall be secured to the building's top plates (or beams) with Simpson H2.5T truss anchors at each bearing location unless noted otherwise.

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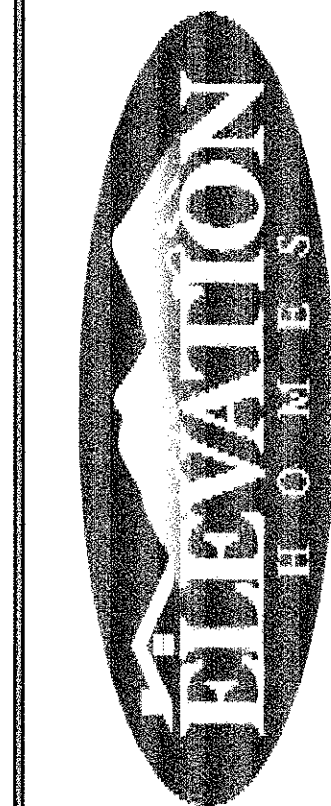
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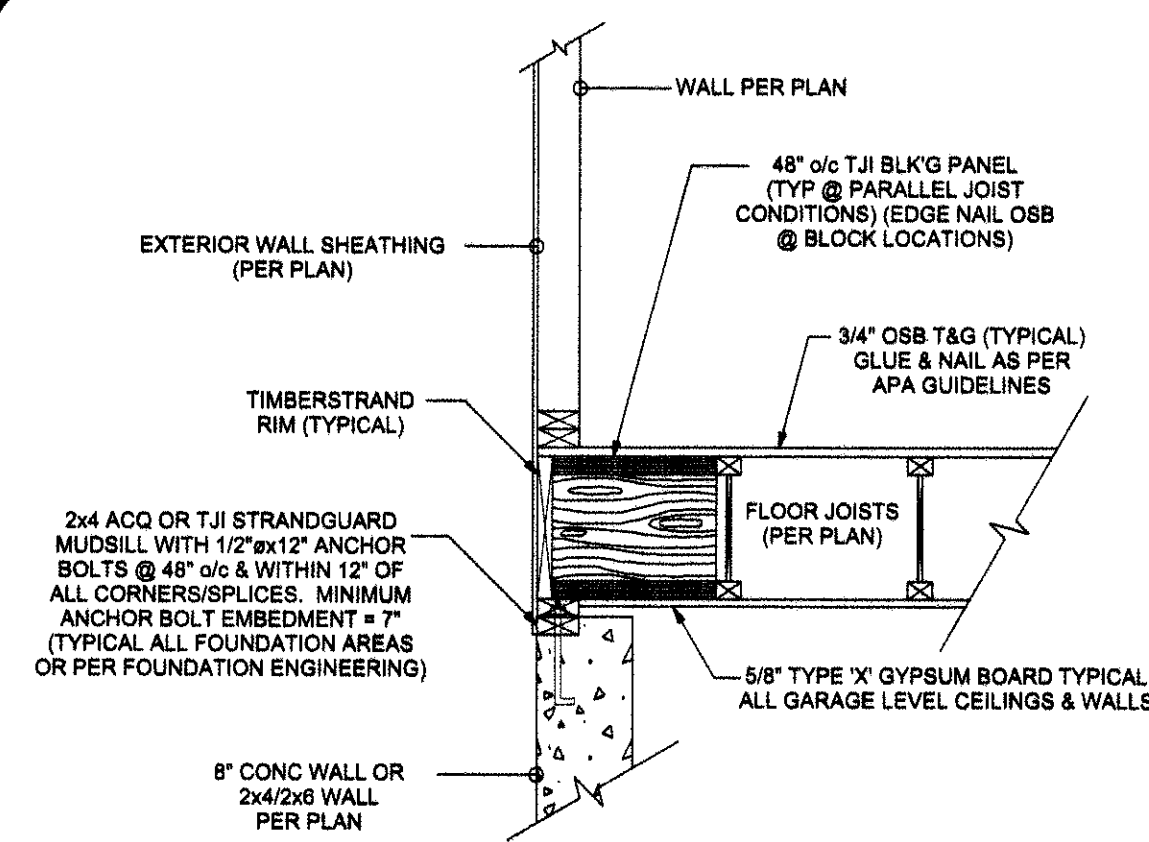
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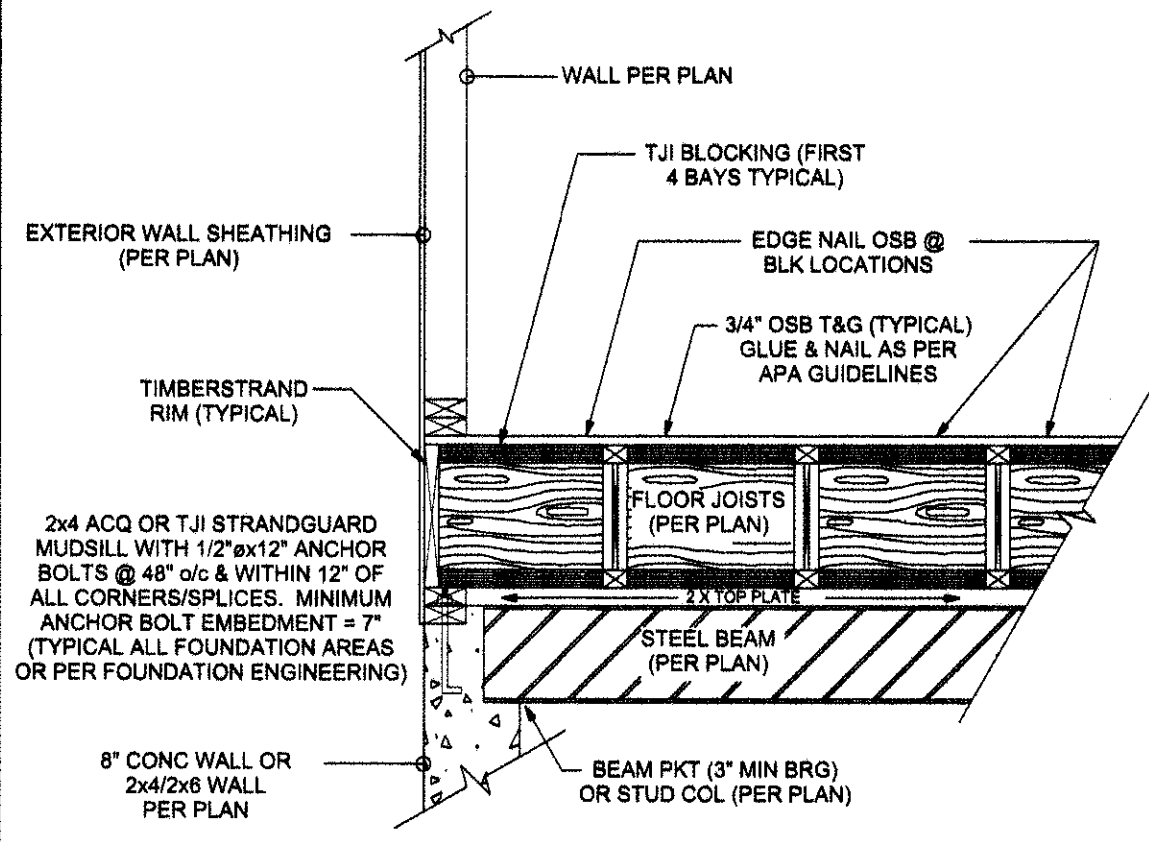
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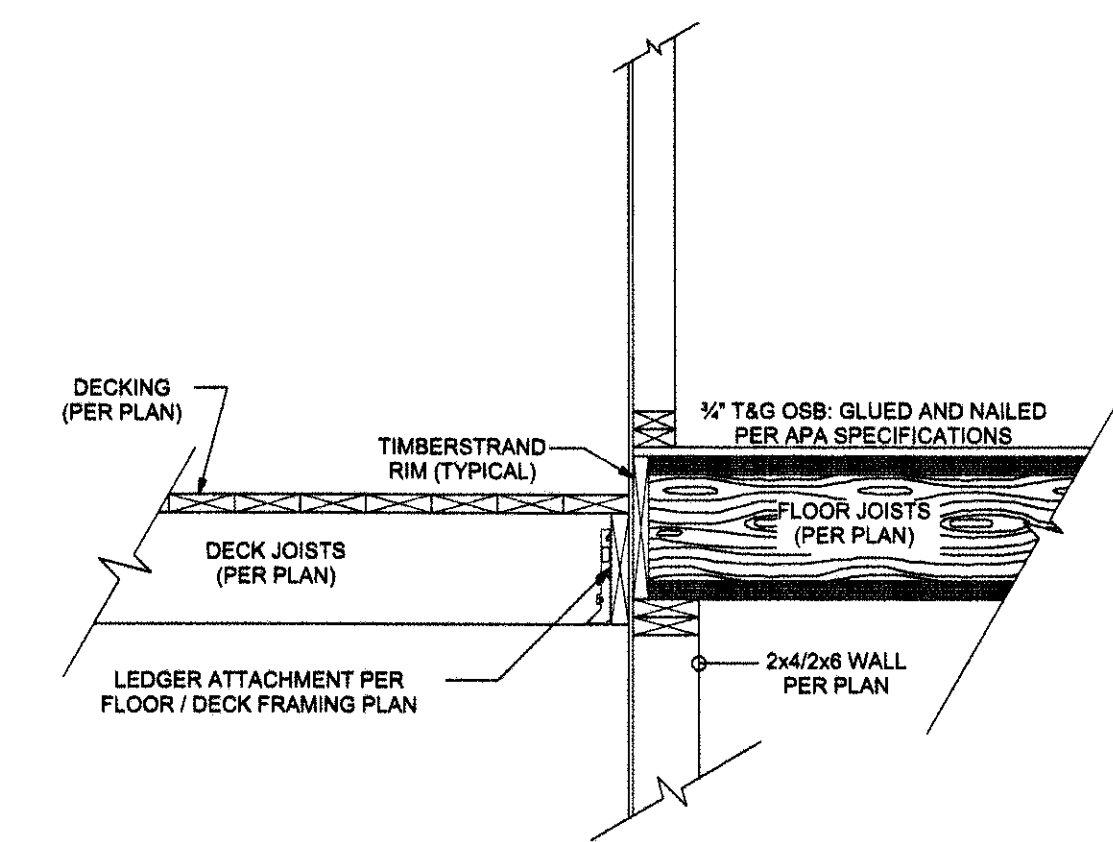
BLOCKING AT RIM BOARD

1
D1



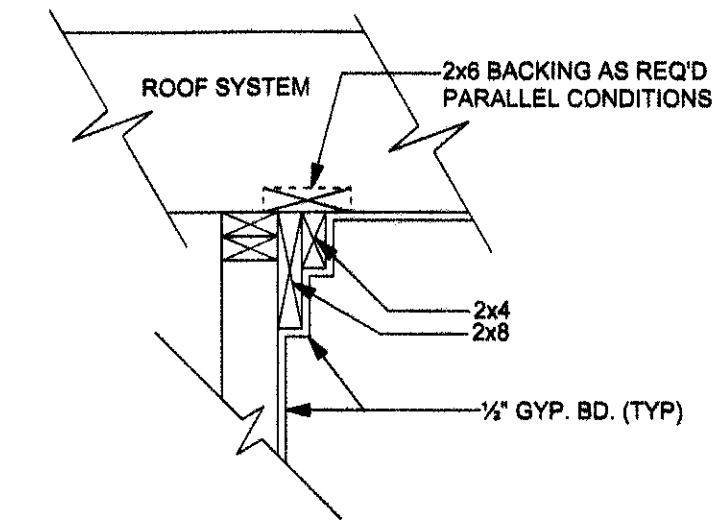
BLOCKING AT STEEL BEAM

2
D1



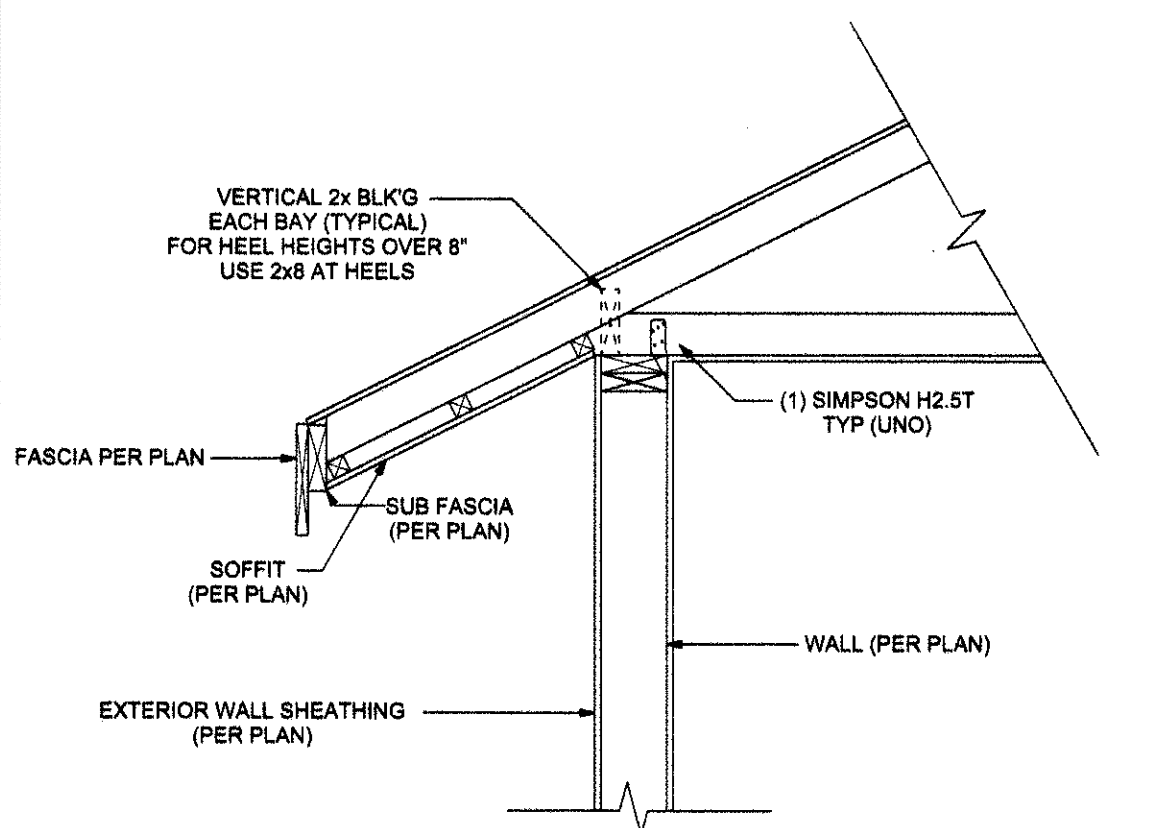
DECK LEDGER

3
D1



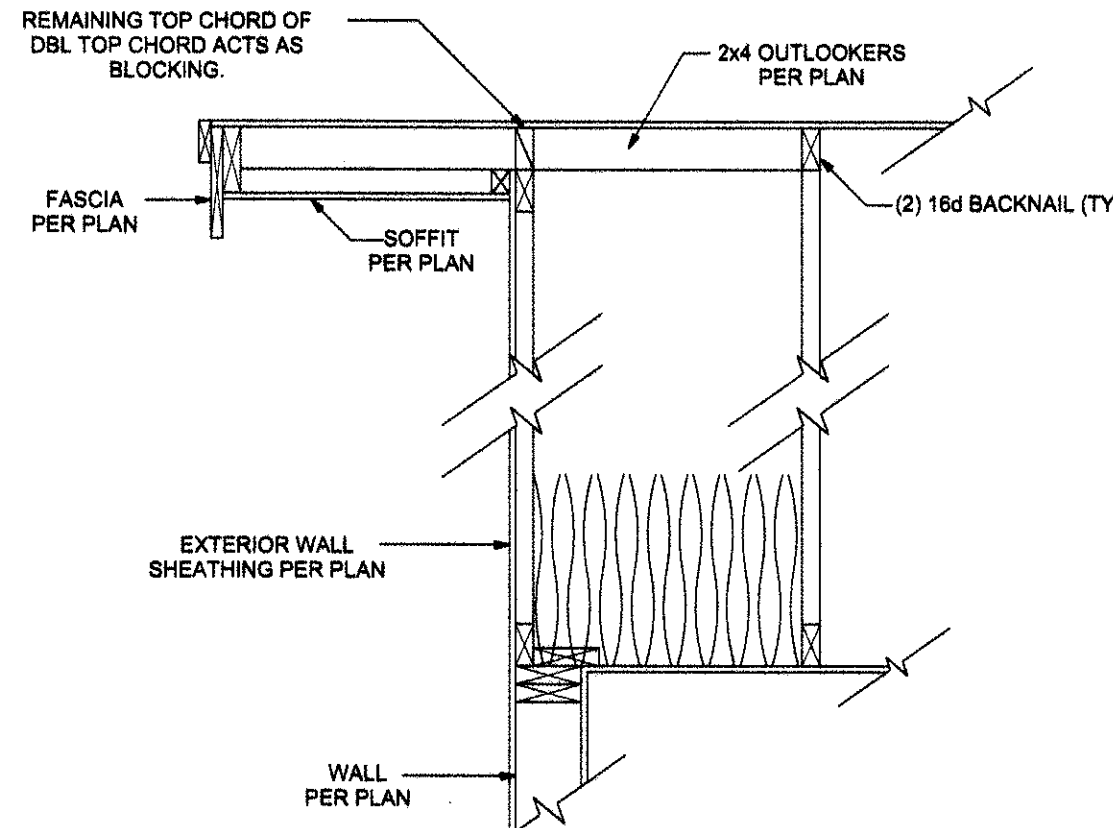
STEP TRIM CEILING DETAIL

5
D1



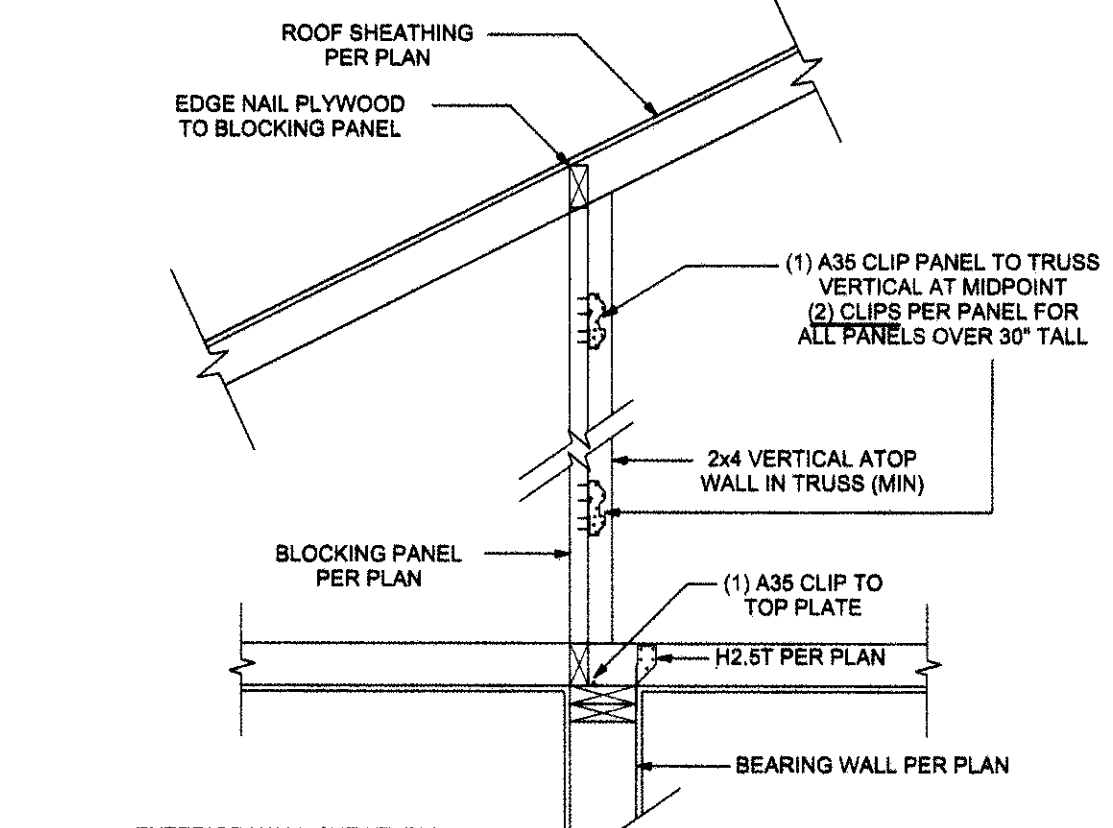
SHINGLE FASCIA DETAIL

8
D1



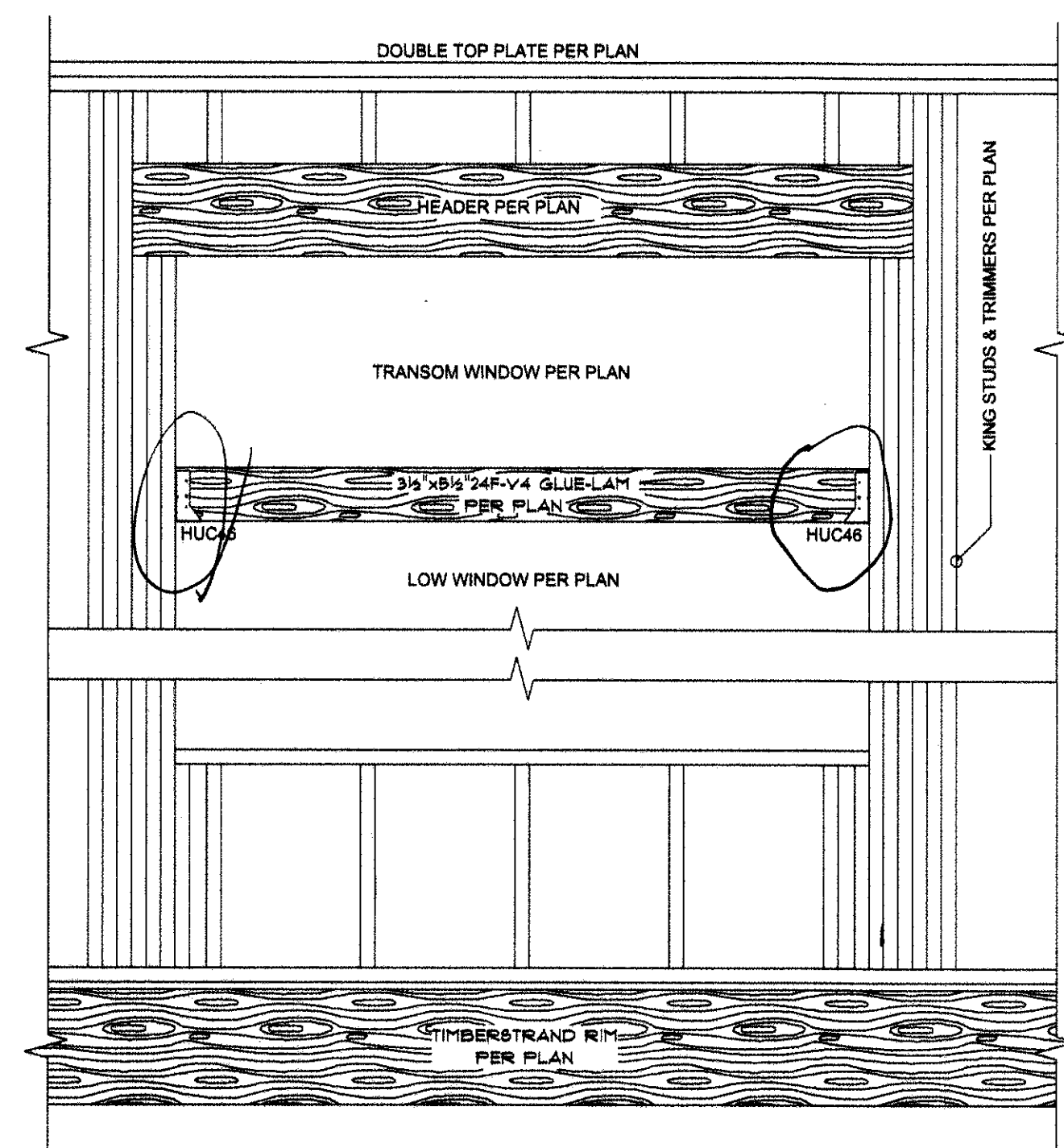
OUTLOOKER DETAIL

9
D1



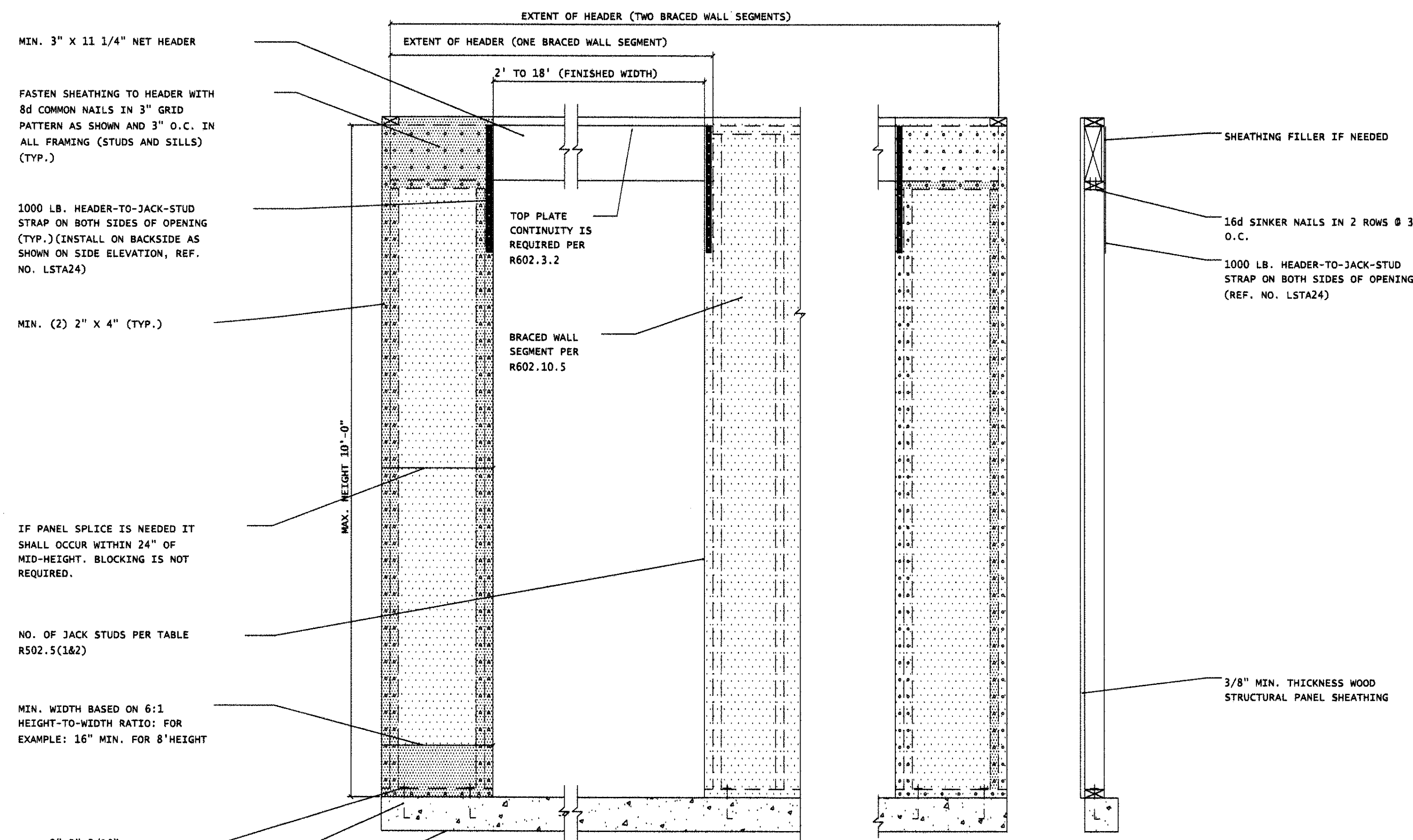
BLOCKING PANEL DETAIL

10
D1



HEADER DETAIL (BALLOON WALL)

6
D1



OUTSIDE ELEVATION

SIDE ELEVATION

IMPORTANT CODE REQUIREMENT:
ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD
OR OSB EXTERIOR WALLS, PER IRC R602.10.5.

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Lot 325 Meridian Ranch Fil No 1
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PAGE D1

Oct 02, 2012

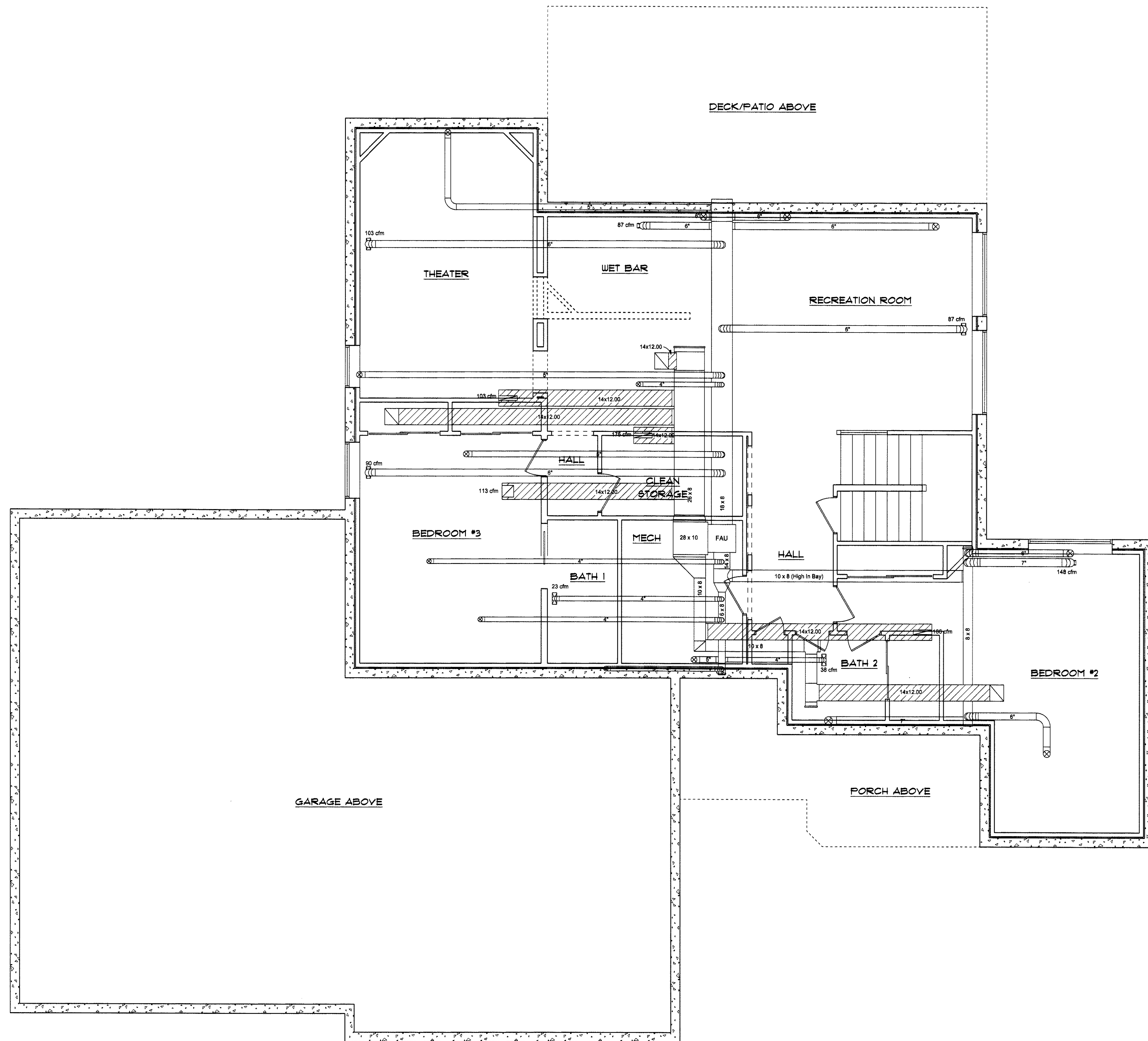
REVISIONS	DATE
RBD COMMENTS	11-26-12
BUILDER CHANGE	11-26-12



9715 Kings Canyon Drive
Peyton, Colorado 80831
TIM TOUSSAINT
719-510-6253

Night Hawk Design
a Hawk Companies, Inc. Business
2848 Country Club Drive, Colorado Springs, Colorado 80909-1019
Rod Wiebe
rod@hawkcompanies.com 719.477.9441 [fax]

Dennis Asher



RELEASED FOR PERMIT
DEC 12 2012
DCH
RBD MECH / [Signature]

Lower Level Mechanical Plan

GENERAL CONDITIONS and LIMITED LIABILITY
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Drawing Index:

M1	Lower Level Mechanical Plan
M2	Main Level Mechanical Plan
M3	NOT USED
M4	Static Pressure & Duct Summary

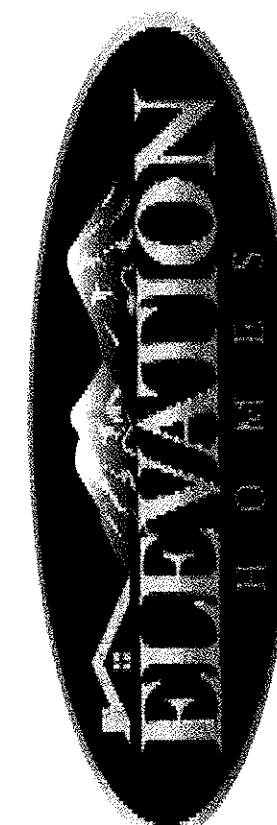
LEGEND:

BASEMENT SUPPLY REGISTER		SUPPLY TRUNK	18 x 8
MAIN LEVEL SUPPLY REGISTER		RETURN TRUNK	18 x 8
UPPER LEVEL SUPPLY REGISTER		PANNED JOIST BAY	14 x 12.00
RETURN AIR		ROUND SUPPLY	6"
FLU			
EXHAUST FAN			

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Project Name: 0 Tuscany Levy



9715 Kings Canyon Drive
Peyton, Colorado 80831

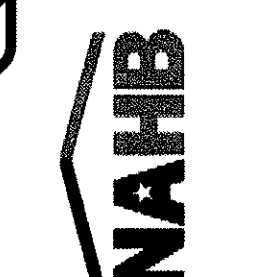
Residential Duct Design

Latigo Home Design LLC

4870 Rushford Place, Colorado Springs, CO. 80923
Design by: Dennis Asher

719.243.7163 [email] dennis@latigohomedesign.com www.latigohomedesign.com

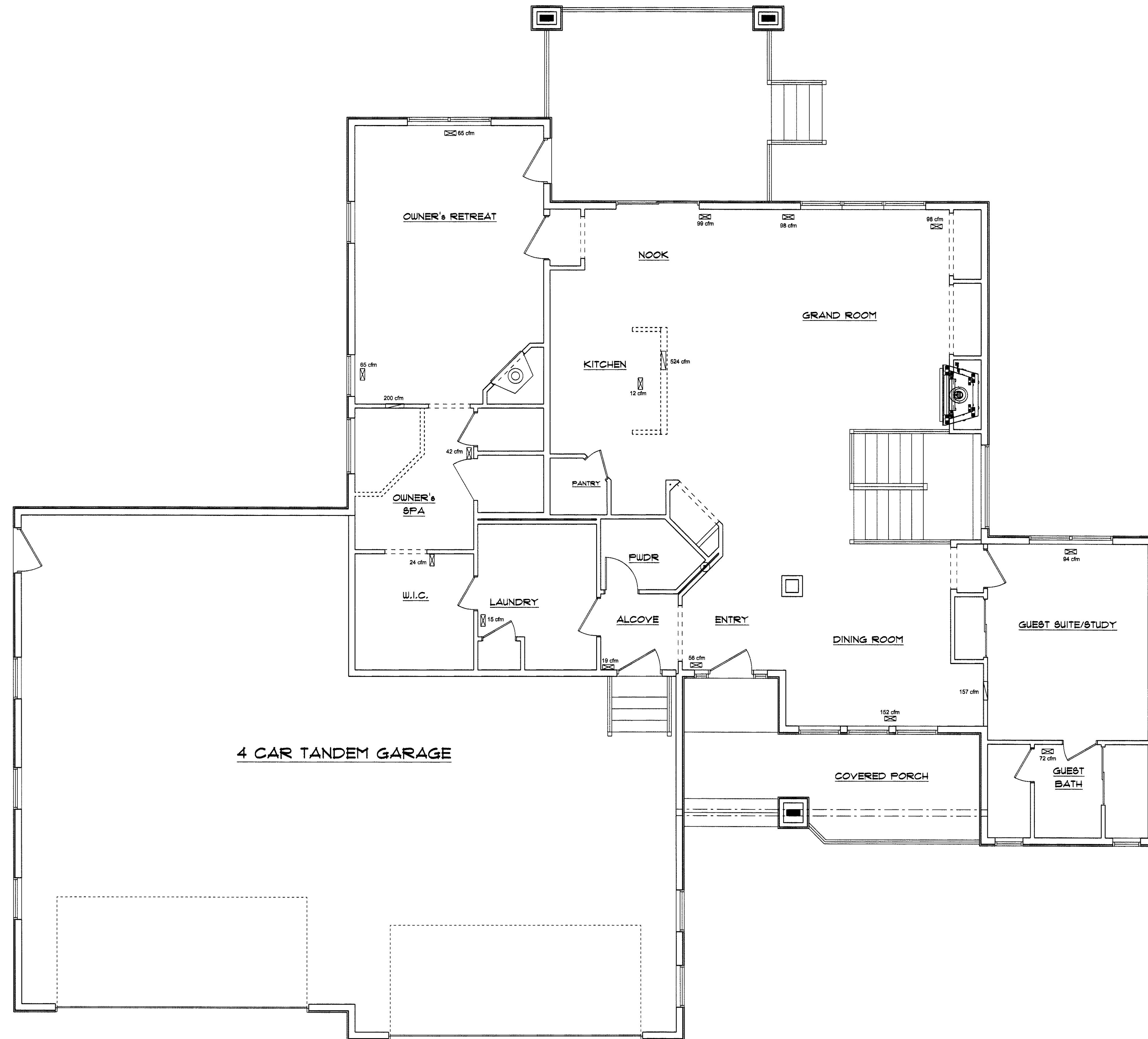
12034 Black Hills Drive
Duct Design



THE DRAWINGS AND DATA USED FOR THIS DRAWING IS TO BE USED FOR GUIDELINES OF CONSTRUCTION. THE OWNER, PURCHASER, GENERAL CONTRACTOR, and/or HEATING CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL CONSTRUCTION DATA INPUTS AND DESIGN FACTORS ARE ALL CORRECT TO THE SPECIFICATIONS OF THE RESIDENCE BEING BUILT. BY PURCHASING THIS DESIGN IT IS AGREED THAT THE PROJECT HAS BEEN ACCEPTED AND THEREFORE LIMITS THE DESIGNER'S LIABILITY TO CORRECTION OF THE ORIGINAL DRAWINGS AND SUPPORT DATA ONLY. IN THE EVENT THAT MECHANICAL DESIGN ERRORS CAUSE CONSTRUCTION PROBLEMS DURING ANY PHASE OF THE BUILDING PROCESS, LATIGO HOME DESIGN MUST BE NOTIFIED IMMEDIATELY TO TAKE APPROPRIATE ACTION. NO LIABILITY ASSUMED FOR DEVIATION FROM PRINT INCLUDING BUT NOT LIMITED TO: EQUIPMENT BRAND, BTU, CFM, RATED STATIC PRESSURE, DUCT SIZE, LENGTH, TEL & MATERIAL.

DATE: 10/2/2012

M1



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DEC 12 2012
DCH
RBD MECH / HBA

Main Level Mechanical Plan

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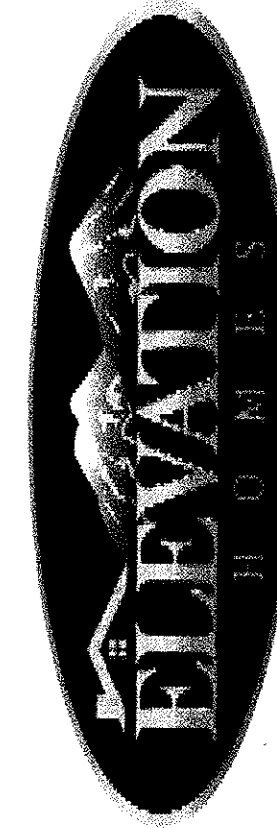
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Project Name: 0 Tuscany Levy



9715 Kings Canyon Drive
Peyton, Colorado 80831

Residential Duct Design

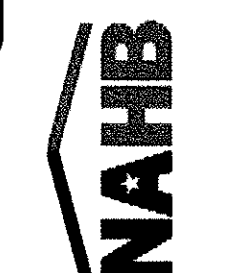
Latigo Home Design LLC

4870 Rusford Place, Colorado Springs, CO. 80923

Design by: Dennis Asher

719.243.7163 [cell] dennis@latigohomedesign.com www.latigohomedesign.com

12034 Black Hills Drive
Duct Design



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DATE: 10/2/2012

M2

Duct System Summary
Entire House
Latigo Home Design

Job : 12034 Black Hills Drive
Date: Oct 01, 2012
By: Latigo Home Design

4570 Rushford Place, Colorado Springs, CO 80923 Phone: 719.243.7163 Fax: 719.822.0433 E-mail: dennis@latigohomedesign.com Web: www.latigohomedesign.com

Project Information

For: Tuscany Homes

Phone: 719.491.0510
Email: tuscanyhomes@comcast.net

External static pressure	0.60 in H2O	Cooling
Pressure losses	0.37 in H2O	0.37 in H2O
Available static pressure	0.23 in H2O	0.23 in H2O
Supply / return available pressure	0.13 / 0.10 in H2O	0.13 / 0.10 in H2O
Lowest friction rate	0.100 in/100ft	0.090 in/100ft
Actual air flow	1330 cfm	1193 cfm
Total effective length (TEL)		812 ft

Supply Branch Detail Table

Name	Design (Btuh)	Htg (cfm)	Cig (cfm)	Design FR	Diam (in)	H x W (in)	Duct Matl	Actual Ln (ft)	Ftg. Eqv Ln (ft)	Trunk
Alcove	777	19	11	0.100	4.0	0x0	Sh/M	17.7	325.0	st3
Bath 1	923	23	6	0.100	4.0	0x0	Sh/M	16.3	280.0	st3
Bath 2	1501	37	10	0.100	4.0	0x0	Sh/M	16.0	260.0	st3
Bedroom 2	5904	147	73	0.100	7.0	0x0	Sh/M	28.7	415.0	st5
Bedroom 3	3692	90	57	0.100	6.0	0x0	Sh/M	30.0	290.0	st2
Dining Room	3025	69	15.2	0.090	7.0	0x0	Sh/M	36.3	350.0	st6
Entry	1085	56	54	0.090	5.0	0x0	Sh/M	10.7	260.0	st3
Grand Rm Sloped	1960	88	98	0.090	6.0	0x0	Sh/M	27.7	340.0	st2
Grand Rm Sloped-A	1960	88	98	0.090	6.0	0x0	Sh/M	37.7	265.0	st2
Guest Bath	2881	72	63	0.100	6.0	0x0	Sh/M	38.7	425.0	st6
Guest Suite	1875	83	94	0.090	6.0	0x0	Sh/M	29.3	405.0	st5
Kitchen	232	10	12	0.090	4.0	0x0	Sh/M	17.0	290.0	st2
Laundry	604	15	8	0.100	4.0	0x0	Sh/M	23.3	270.0	st3
Nook	1909	72	99	0.090	6.0	0x0	Sh/M	24.3	340.0	st2
Owner's Retreat	2589	65	58	0.100	5.0	0x0	Sh/M	48.7	360.0	st2
Owner's Retreat-A	2589	65	58	0.100	5.0	0x0	Sh/M	37.7	290.0	st2
Owner's Spa	832	32	42	0.090	6.0	0x0	Sh/M	24.3	290.0	st2
Rec Room	3472	87	70	0.100	6.0	0x0	Sh/M	28.0	265.0	st2
Rec Room-A	3472	87	70	0.100	6.0	0x0	Sh/M	32.3	280.0	st2
Theater	4093	102	52	0.100	6.0	0x0	Sh/M	46.3	275.0	st2
W.I.C.	945	24	8	0.100	4.0	0x0	Sh/M	22.7	290.0	st1

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Wrightsoft Right-Suite Universal 2012.12.1.02 RBU14844
Wrightsoft HVAC Engineering Design Software Release 10.0 Calc v10.08 Print Date: 10/01/2012 Page 1

Load Short Form
Entire House
Latigo Home Design

Job : 12034 Black Hills Drive
Date: Oct 01, 2012
By: Latigo Home Design

4570 Rushford Place, Colorado Springs, CO 80923 Phone: 719.243.7163 Fax: 719.822.0433 E-mail: dennis@latigohomedesign.com Web: www.latigohomedesign.com

Project Information

For: Tuscany Homes

Phone: 719.491.0510
Email: tuscanyhomes@comcast.net

Design Information

	Htg	Cig	Infiltration	
Outside db (°F)	0	90	Method	Simplified
Inside db (°F)	72	75	Construction quality	Average
Design TD (°F)	72	15	Fleapaces	0
Daily range	-	M		
Inside humidity (%)	30	50		
Moisture difference (gr/lb)	38	-44		

HEATING EQUIPMENT

Make Bryant
Trade BRYANT
Model 912SAA2100S2 1
AHRI ref 5034553

COOLING EQUIPMENT

Make Carrier
Trade INFINITY 21 PURON AC
Cond 24AA136A32
Coil CNPV3621A**
AHRI ref 4791810

Efficiency	92.1 AFUE	Efficiency	13.0 EER, 17.2 SEER
Heating input	100000 MBtuh	Sensible cooling	30090 Btuh
Heating output	97000 Btuh	Latent cooling	5310 Btuh
Temperature rise	83 °F	Total cooling	35400 Btuh
Actual air flow	1330 cfm	Actual air flow	1193 cfm
Air flow factor	0.025 cfm/Btuh	Air flow factor	0.050 cfm/Btuh
Static pressure	0.60 in H2O	Static pressure	0.60 in H2O
Space thermostat		Load sensible heat ratio	1.00

ROOM NAME	Area (ft²)	Htg load (Btuh)	Cig load (Btuh)	Htg AVF (cfm)	Cig AVF (cfm)
Alcove	102	0	0	0	0
Bedroom 3	287	3592	1127	90	57
Theater	293	4093	1032	102	52
Rec Room	722	6943	2785	173	140
Bedroom 2	361	5904	1462	147	73
Bath 2	88	1501	200	37	10
Storage	68	0	0	0	0
Owner's Retreat	303	5179	2322	129	116
Nook	123	2898	1969	72	99
Kitchen	187	381	232	10	12
Grand Rm Sloped	471	7680	3921	177	197
Powder	50	0	0	0	0
Entry	77	2224	1085	56	54
Dining Room	144	2751	3025	69	152
Guest Suite	168	3331	1875	83	94
Guest Bath	101	2881	1262	72	63

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.

Wrightsoft Right-Suite Universal 2012.12.1.02 RBU14844
Wrightsoft HVAC Engineering Design Software Release 10.0 Calc v10.08 Print Date: 10/01/2012 Page 1

Supply Trunk Detail Table

Name	Trunk Type	Htg (cfm)	Cig (cfm)	Design FR	Veloc (fpm)	Diam (in)	H x W (in)	Duct Material	Trunk
st2	Peak A/F	785	713	0.100	785	12.6	8 x 18	Sh/Metl	st4
st5	Peak A/F	141	215	0.090	483	7.9	8 x 8	Sh/Metl	st4
st5	Peak A/F	231	167	0.100	519	8.0	8 x 8	Sh/Metl	st4
st3	Peak A/F	150	90	0.100	451	6.8	8 x 6	Sh/Metl	st1
st1	Peak A/F	545	480	0.100	701	11.0	8 x 14	Sh/Metl	st1
st4	Peak A/F	371	382	0.090	688	9.8	8 x 10	Sh/Metl	st1

Return Branch Detail Table

Name	Grill Size (in)	Htg (cfm)	Cig (cfm)	TEL (ft)	Design FR	Veloc (fpm)	Diam (in)	H x W (in)	Stud/Joist Opening (in)	Duct Matl	Trunk
rb7	0x0	185	83	179.0	0.090	158	7.5	12.00x14	10x34	SJSp	rt2
rb4	0x0	155	157	348.7	0.090	135	7.0	12.00x14	10x34	SJSp	rt2
rb1	0x0	173	140	177.0	0.090	149	7.3	12.00x14	10x34	SJSp	rt3
rb6	0x0	113	83	172.7	0.090	97	6.2	12.00x14	10x34	SJSp	rt3
rb2	0x0	200	174	261.3	0.090	171	7.7	12.00x14	10x34	SJSp	rt3
rb5	0x0	102	52	274.3	0.090	88	6.0	12.00x14	10x34	SJSp	rt3
rb3	0x0	402	524	331.0	0.100	449	10.8	12.00x14	10x34	SJSp	rt3

Return Trunk Detail Table

Name	Trunk Type	Htg (cfm)	Cig (cfm)	Design FR	Veloc (fpm)	Diam (in)	H x W (in)	Duct Material	Trunk
rt2	Peak A/F	340	241	0.090	612	9.4	8 x 10	Sh/Metl	rt1
rt3	Peak A/F	990	952	0.090	685	14.0	8 x 26	Sh/Metl	rt1
rt1	Peak A/F	1330	1193	0.090	684	15.6	10 x 28	Sh/Metl	rt1

Wrightsoft Right-Suite Universal 2012.12.1.02 RBU14844
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Wrightsoft Right-Suite Universal 2012.12.1.02 RBU14844
Wrightsoft HVAC Engineering Design Software Release 10.0 Calc v10.08 Print Date: 10/01/2012 Page 2

Static Pressure for Entire House



External static pressure

Pressure losses

Coil	0.20	0.20
Heat exchanger	0	0
Supply diffusers	0.03	0.03
Return grilles	0.04	0.04
Filter	0.10	0.10
Humidifier	0	0
Balancing damper	0	0
Other device	0	0

Available static pressure

Heating (in H2O)
<0.60>

Cooling (in H2O)
<0.60>



Measured length of run-out

Measured length of trunk

Equivalent length of fittings

Total length

Total effective length

Supply (ft)	Return (ft)
30	13
8	20
425 ***	315 ***

Friction Rate

Heating (in/100ft)

Cooling (in/100ft)

Supply

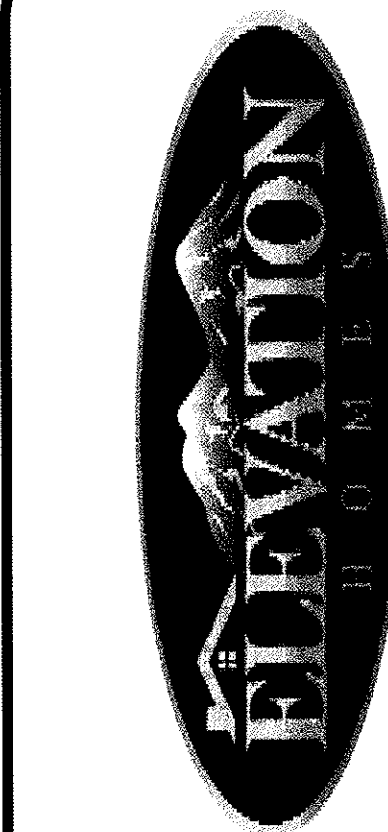
Return

<0.100>

<0.090>

OK

OK



9715 Kings Canyon Drive
Peyton, Colorado 80831

Residential Duct Design

Latigo Home Design LLC

4870 Rushford Place, Colorado Springs, CO. 80923

Design by: Dennis Adler

719.243.7163 (cell) dennis@latigohomedesign.com www.latigohomedesign.com

12034 Black Hills Drive
Duct Design

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M4