

Terry C Design Services
5620 Old Farm Terrace
Colorado Springs, CO 80917
www.tchomedesign.com

A Residence For:
ELEVATION HOMES
9715 Kings Canyon Dr.
Falcon, CO 80831

PLAN: Site specific single family residence
9164 Shipman Ln, CO 80908
Colorado Springs, CO 80908
Lot 48, Foxglove Subdivision, Filing No. 1
El Paso County, Colorado.

SUBCONTRACTOR NOTE: Every effort has been made to ensure that the drawings have been created in accordance with the specifications as outlined in the contract documents. The drawings are intended to be used as a guide only and are not to be construed as a contract. The contractor is responsible for obtaining all necessary permits and for ensuring that the drawings are in accordance with the latest edition of the applicable codes and standards. The contractor is also responsible for ensuring that the drawings are in accordance with the latest edition of the applicable codes and standards.

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Notes and Revisions:
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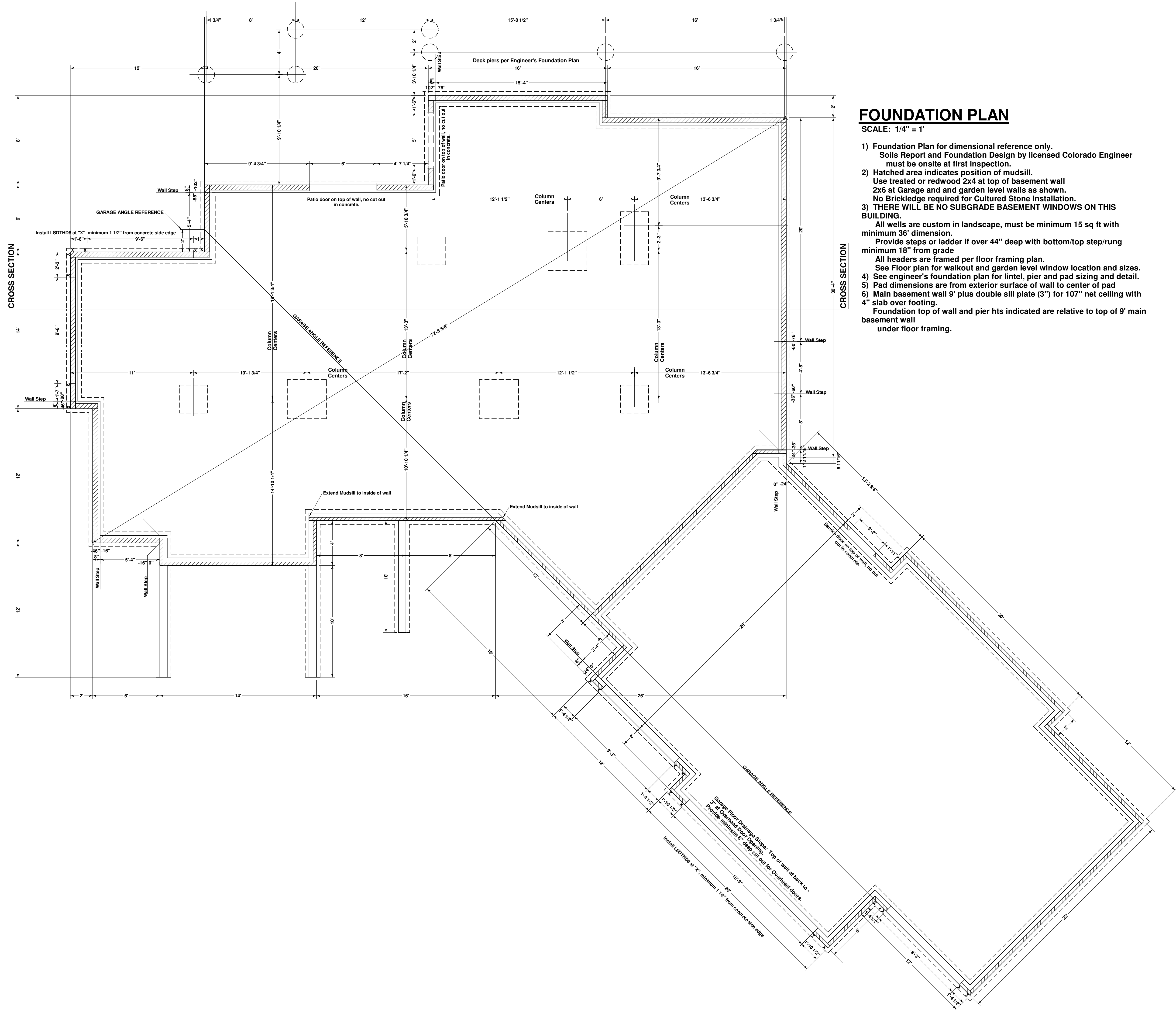
Drawn By:
Terry Carlson
719-964-2568

PLOT DATE
10/3/2012

SHEET
1
of 8

DRAWING INDEX
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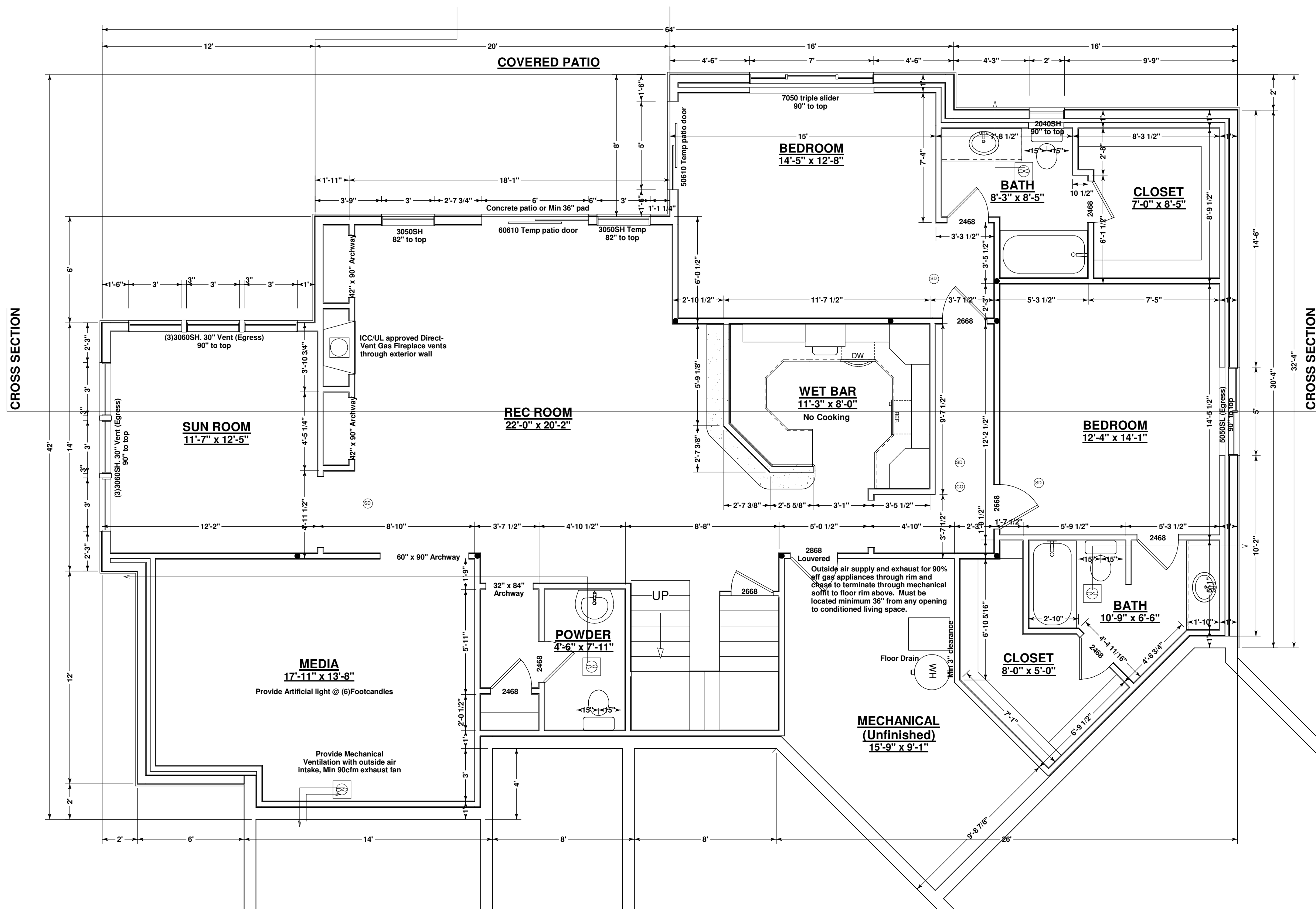
CODE SCHEDULE
2011 PIKES PEAK REGIONAL BUILDING CODE
2009 IRC*
2009 IPC*
2009 IFCG*
2009 IMC*
2009 IECC*
2008 NEC**
*As amended by 2011 PPRBC
**Or the latest edition adopted by the State of Colorado



FOUNDATION PLAN

SCALE: 1/4" = 1'

- 1) Foundation Plan for dimensional reference only.
Soils Report and Foundation Design by licensed Colorado Engineer must be onsite at first inspection.
- 2) Hatched area indicates position of mudsill.
Use treated or redwood 2x4 at top of basement wall
2x6 at Garage and and garden level walls as shown.
No Brickledge required for Cultured Stone Installation.
- 3) THERE WILL BE NO SUBGRADE BASEMENT WINDOWS ON THIS BUILDING.
All wells are custom in landscape, must be minimum 15 sq ft with minimum 36" dimension.
Provide steps or ladder if over 44" deep with bottom/top step/rung minimum 18" from grade
All headers are framed per floor framing plan.
See Floor plan for walkout and garden level window location and sizes.
- 4) See engineer's foundation plan for lintel, pier and pad sizing and detail.
- 5) Pad dimensions are from exterior surface of wall to center of pad
- 6) Main basement wall 9" plus double sill plate (3") for 107" net ceiling with 4" slab over footing.
Foundation top of wall and pier hts indicated are relative to top of 9' main basement wall under floor framing.



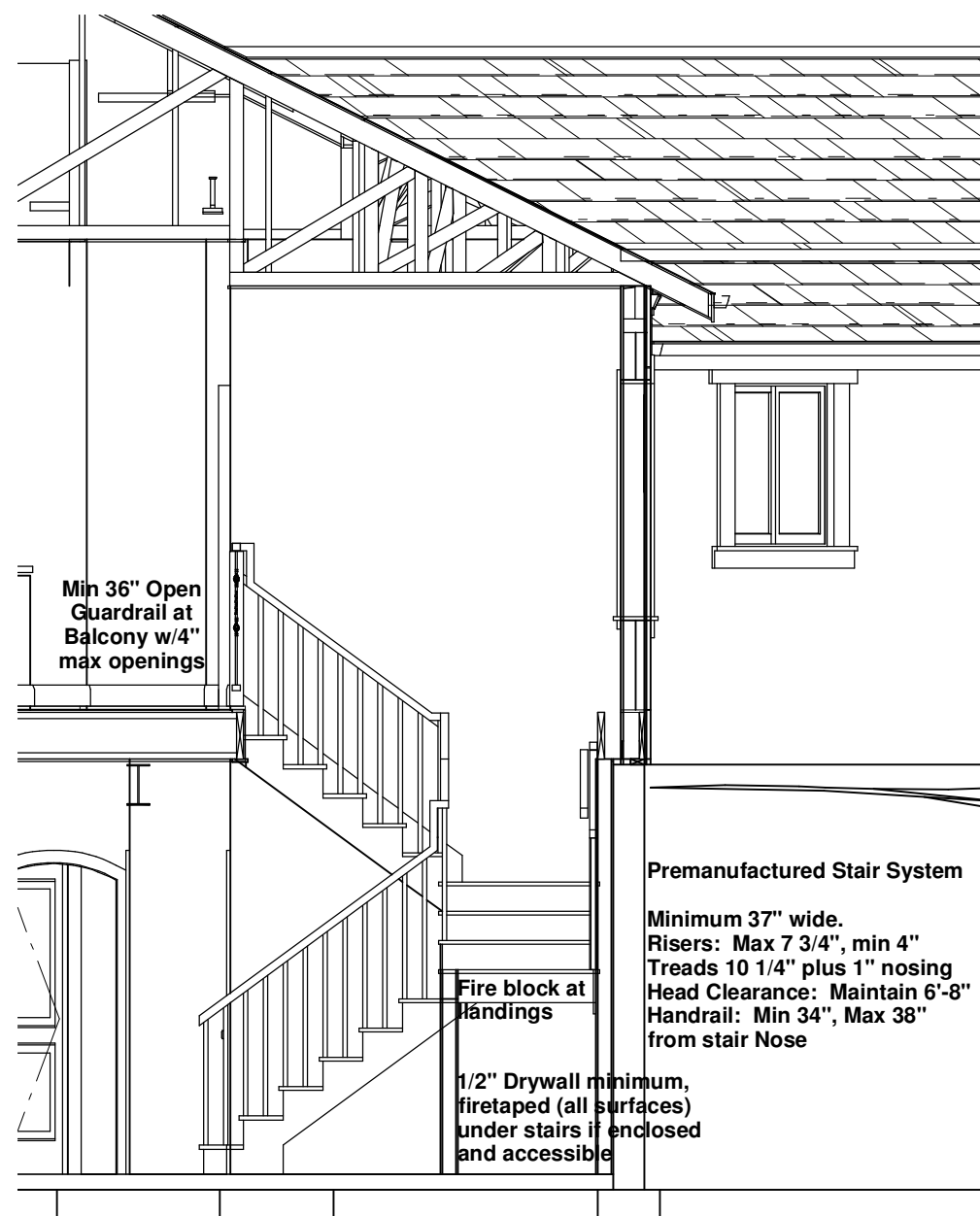
BASEMENT GENERAL NOTES:

SCALE: 1/4" = 1'

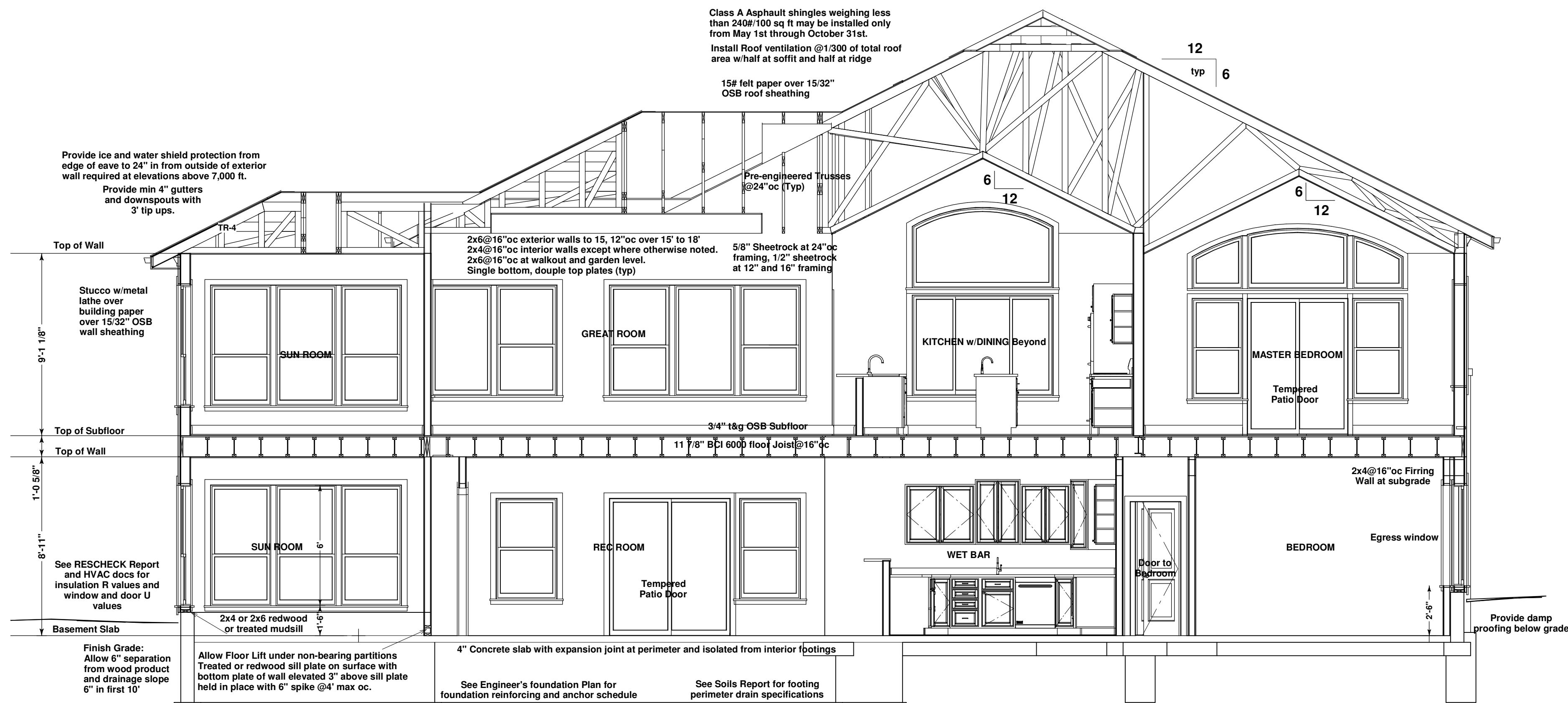
- BASEMENT CEILING HEIGHTS** (Basement Finish Optional):
7'-7 1/2" Minimum Ceiling Height. Beams, Girders and Ducts may project up to 10" below required height.
Nominal 9" Standard basement ceiling: 107" slab to floor joist with 9" foundation wall plus double (3") sill plate, less 4" slab over footing
- EGRESS WINDOWS:**
Basement includes Egress windows where indicated. Install min 15 sq ft well at all subgrade basement windows with min 36" dimension. Provide ladder where well is deeper than 44" below grade. First rung of ladder to be within 18" of grade.
Minimum Egress opening dimensions: Height: 24", Width: 20", 5.7 sq ft
Maximum sill height: 44"
- VENTED EXHAUST FANS:**
Vented Exhaust Fans located as indicated by terminate through joist cavity or duct soffit and out floor rim as indicated by arrows and may not terminate within 36" of any opening which allows air into occupied area
Provide backdraft damper.
- DRYER VENT**
Dryer vent terminates Floor rim below to exterior wall as indicated by arrow.
Maximum dryer vent duct: 25', allow 5' for each elbow. Provide booster fan for extended duct length.
Dryer vent may not terminate within 36" of any opening that allows air into occupied area.
Provide backdraft damper
Provide 100 sq in make-up air
- STAIRS:**
Install minimum 1/2" drywall, firetaped, all surfaces under stairs if enclosed and accessible.
Provide Handrail minimum 34", maximum 38" from stair nosing.
Provide minimum 36" half wall or guardrail at open landings and balconies.
Maximum Riser: 7 3/4", Minimum Tread: 10", Maintain Minimum 5-3" Head Clearance
- WATER HEATERS:**
Bradford-White #MIS036FBN: 50 gallon capacity, 86 gallon First Hour Rating, 40, 000BTU input
Provide combustion air and clearances per IMC for gas appliances.
- SMOKE and CO DETECTORS:**
Smoke Detectors located as indicated by interconnected and to all other floors with battery back-up.
Carbon Monoxide detector shall be installed within 15 ft of all bedroom entrances. Multiple detectors to be interconnected.
- Provide low resistance return air path to all closed rooms. Recommend 1" clearance at bottom of door.
- Allow Floor Lift under non-bearing partitions
Treated or redwood sill plate on surface with bottom plate of wall elevated 3" above sill plate held in place with 6" spike @4" max oc.
- Provide outside combustion air to gas appliances in basement.

BASEMENT FLOOR PLAN

2163 sq ft
SCALE: 1/4" = 1'



STAIR SECTION



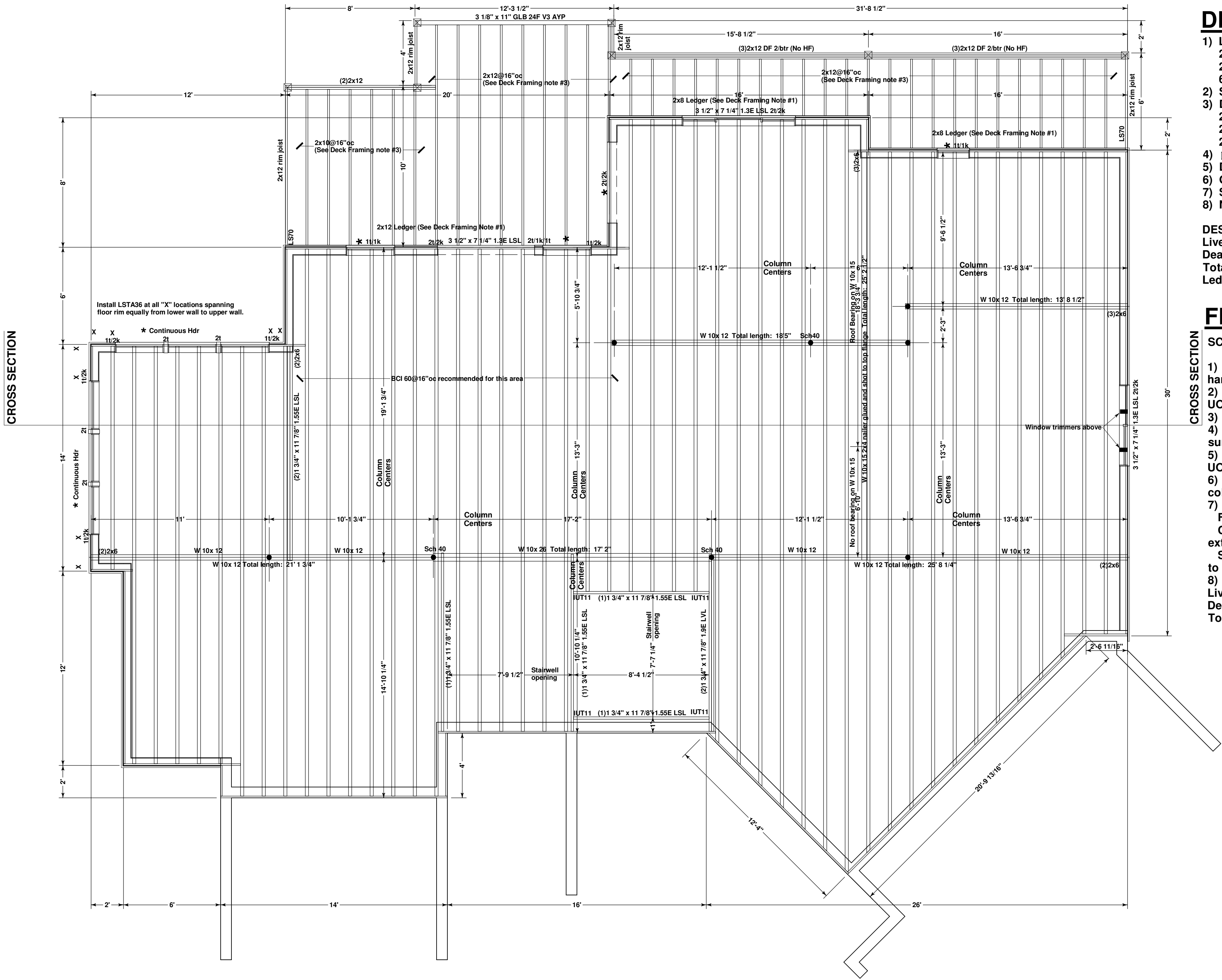
CROSS SECTION

SCALE: 1/4" = 1'



- 6) **SMOKE DETECTORS:**
 - Located as indicated by ☹ Interlinked together and to all other floors with battery back-up
 - Carbon Monoxide detector ☹ installed within 15 ft of all bedroom entrances. Multiple detectors to be interconnected.
- 7) **DISHWASHER**
 - Provide air gap device at dishwasher.
- 8) **GARAGE**
 - 5/8" type X sheetrock at ceiling and common wall firetaped.
 - Wrap all structural members.
 - Provide minimum 1/8" slope per 1' at floor for drainage.
- 9) **ARCH RADIUS**
 - Use opening width for arch radius at all arched windows and archways.
- 10) **Provide low resistance return air path to all closed rooms. Recommend 1" clearance at bottom of door.**

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|---|--|--|--|-------------------------------|--------------------------|--|
| Terry C Design Services ELEVATION HOMES 5620 Old Farm Terrace Colorado Springs, CO 80917 www.tchomedesign.com | A Residence For: ELEVATION HOMES 9715 Kings Canyon Dr. Falcon, CO 80831 | Site specific single family residence 9164 Shipman Ln, Colorado Springs, CO 80908 Lot 48, Foregate subdivision, Filing No. 1 El Paso County, Colorado. | PLAN: | 719-514-6253 | 719-964-2568 | of 8 |
| | | | | | | |
| Notes and Revisions: | | | Drawn By: Terry Carlson | PLOT DATE 10/3/2012 | SHEET 4 | |
| Subcontractor Note: Every effort has been made to ensure that the drawings have been created to specifications as outlined by named client. Measure with dimensions and verify all dimensions and locations before construction. Drawings used onsite must be current and approved by the architect. If any changes are made to the drawings, the named client will be made a subcontractors responsibility. The named client may be subject to back-charges and litigation for claims for damages and infringement penalties. | | | Copyright Penning: These drawings are the property work product of Terry C Design and are not to be reproduced, copied, or used in any way without the written consent of the named client. Plans are subject to change without notice. The named client is responsible for all changes and updates to the drawings. Use of these drawings for any other purpose is prohibited and the named client will be made a subcontractors responsibility. The named client may be subject to back-charges and litigation for claims for damages and infringement penalties. | | | BID COPY NOT FOR CONSTRUCTION |



DECK FRAMING

- 1) Ledger: As indicated on plan
2x8 to floor rim w/(3)galv 12d and (2)1/4"x4 1/2" Ledgerlok@16"oc (typ) at balcony deck
2x12 to floor rim w/(4)galv 12d and (3)1/4" x 4 1/2" ledgerlok@16"oc. at main deck.
66 psf (Tributary load)
- 2) Structural Rim: As noted on framing plan
- 3) Deck Joist: As indicated on plan
2x8@16"oc to rim, beam or ledger w/LUS26
2x10@16"oc to rim, beam or ledger w/LUS210
2x12@16"oc at 14' span to rim and ledger w/ LUS210
- 4) Columns: 6x6 or (3)2x6 to beam w/LPC6Z, to concrete below w/EPB66 (typ) UON
- 5) Decking: 2x6 Trex perpendicular
- 6) Guardrail: Min 36" Rail with Max 4" openings
- 7) Stairs: Min 10" Tread, Max 7 3/4" Riser with handrail min 34"/max 38" from nose if any.
- 8) No hot Tub

DESIGN LOADS: No Hot tub
Live Load: 40psf
Dead Load: 15psf
Total Load: 55psf
Ledger: 66psf (Tributary Area)

FLOOR FRAMING PLAN

SCALE: 1/4" = 1'

- 1) Joist: 11 7/8" BCI 6000 @16"oc w/IUS2.37/11.88 hangers
- 2) Rim: 11 7/8" Timberstrand or equivalent (Typ) UON
- 3) Framed Walls: 2x6@16"oc (if any)
- 4) (1)1 3/4" x 11 7/8" 1.55E TS LSL at all stairwell surfaces UON
- 5) * Default Header: 3 1/2" x 5 1/2" 1.3E LSL 2t/2k UON
- 6) * Default Column: 3" dia adjustable steel column UON, SHEDULE 40 where indicated.
- 7) Dimensions:
Framing: Rim to rim
Columns and Beam Pockets: Framed wall exterior or Concrete surface to center
Stairwell: Rim or exterior of concrete wall surface to stairwell surface
- 8) DESIGN LOADS:
Live Load: 40 psf
Dead Load: 10 psf
Total Load: 50 psf

CROSS SECTION





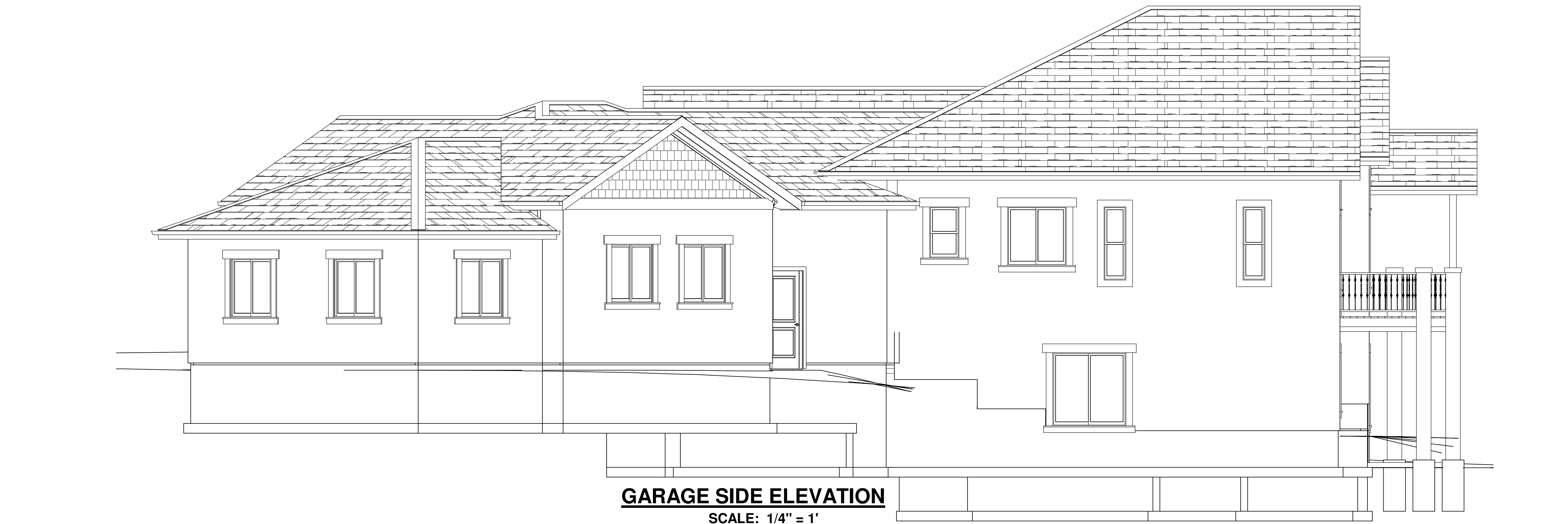
FRONT ELEVATION

SCALE: 1/4" = 1'



SIDE ELEVATION

SCALE: 1/4" = 1'



GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'



REAR ELEVATION
SCALE: 1/4" = 1'