



DRAWING INDEX

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CODE SCHEDULE

2005 PIKES PEAK REGIONAL BUILDING CODE
2003 IRC*
2003 IPC*
2003 IFGC*
2003 IMC*
2003 IECC*
2008 NEC**

*As amended by 2005 PPRBC

**Or the latest edition adopted by the State of Colorado

SHEET
1
of 8
PLOT DATE
4/20/2011

Drawn By:
Terry Carlson
719-964-2568

Notes and
Revisions:
CONSTRUCTION COPY
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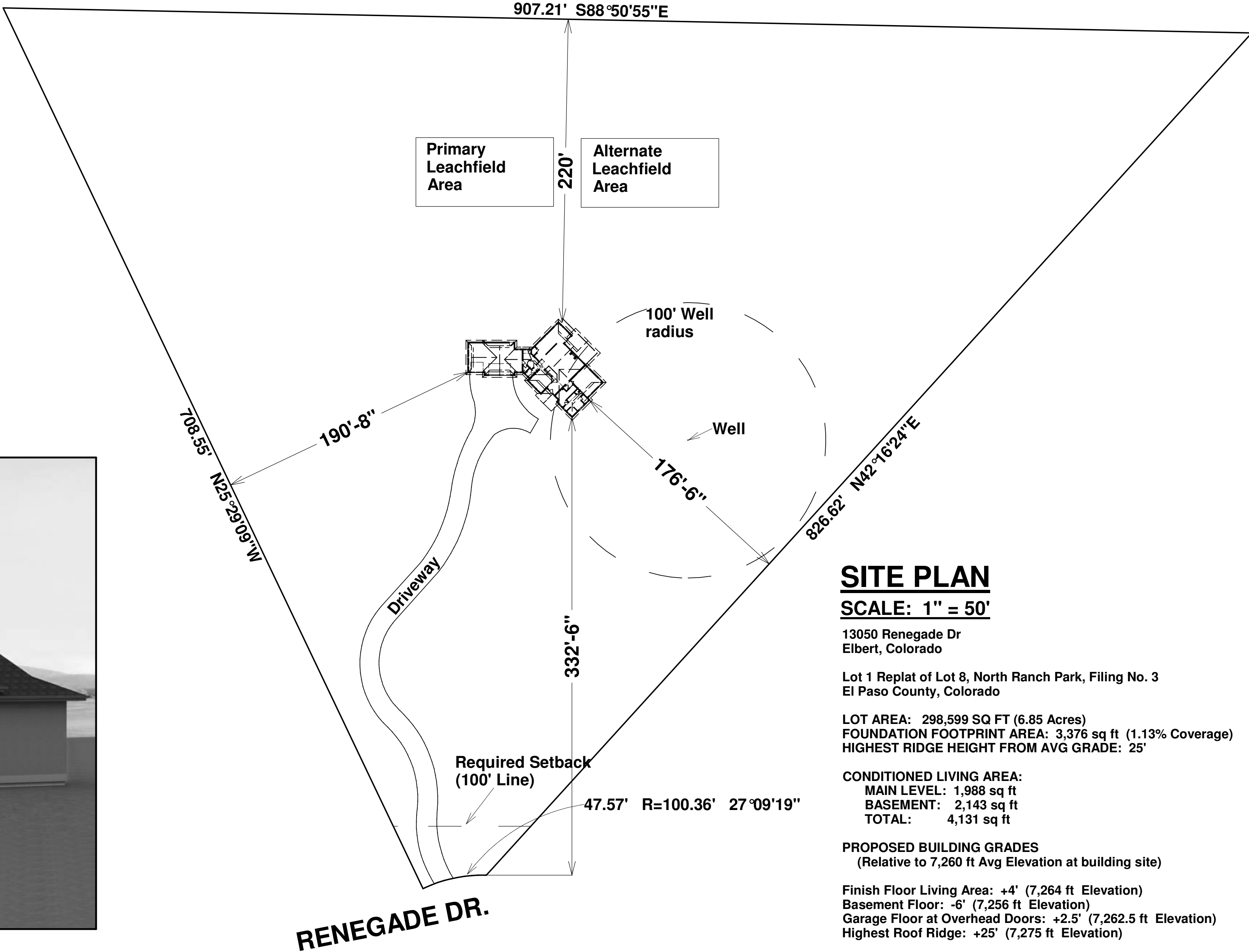
SUBCONTRACTOR NOTE: Every effort has been made to ensure the accuracy of the information provided in these drawings. However, the user of these drawings is responsible for verifying the accuracy of the information provided in these drawings. The user of these drawings is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these drawings is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these drawings is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

Site specific single
family residence
13050 Renegade Dr, Elbert, CO
Not a replat of Lot 8, North Ranch Park, Filing No. 3,
El Paso County, Colorado.

PLAN:
719-510-6253

A Residence For:
ELEVATION HOMES
9715 Kings Canyon Dr.
Falcon, CO 80831

Terry C Design Services
5620 Old Farm Terrace
Colorado Springs, CO 80917
www.tchomedesign.com 719-964-2568



SITE PLAN

SCALE: 1" = 50'

13050 Renegade Dr
Elbert, Colorado

Lot 1 Replat of Lot 8, North Ranch Park, Filing No. 3
El Paso County, Colorado

LOT AREA: 298,599 SQ FT (6.85 Acres)
FOUNDATION FOOTPRINT AREA: 3,376 sq ft (1.13% Coverage)
HIGHEST RIDGE HEIGHT FROM AVG GRADE: 25'

CONDITIONED LIVING AREA:
MAIN LEVEL: 1,988 sq ft
BASEMENT: 2,143 sq ft
TOTAL: 4,131 sq ft

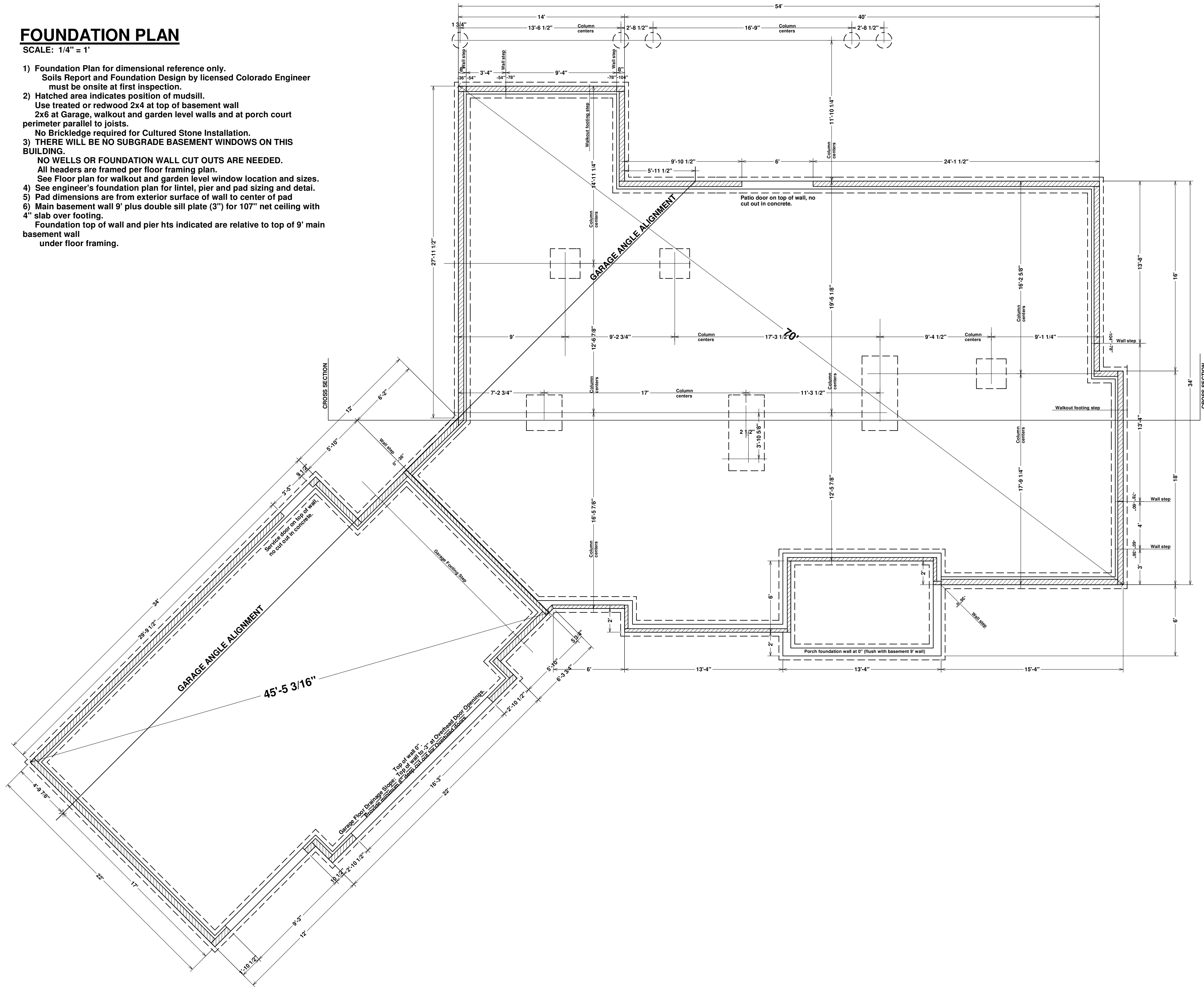
PROPOSED BUILDING GRADES
(Relative to 7,260 ft Avg Elevation at building site)

Finish Floor Living Area: +4' (7,264 ft Elevation)
Basement Floor: -6' (7,256 ft Elevation)
Garage Floor at Overhead Doors: +2.5' (7,262.5 ft Elevation)
Highest Roof Ridge: +25' (7,275 ft Elevation)

FOUNDATION PLAN

SCALE: 1/4" = 1'

- 1) Foundation Plan for dimensional reference only.
Soils Report and Foundation Design by licensed Colorado Engineer must be onsite at first inspection.
 - 2) Hatched area indicates position of mudsill.
Use treated or redwood 2x4 at top of basement wall 2x6 at Garage, walkout and garden level walls and at porch court perimeter parallel to joists.
No Brickledge required for Cultured Stone Installation.
 - 3) THERE WILL BE NO SUBGRADE BASEMENT WINDOWS ON THIS BUILDING.
NO WELLS OR FOUNDATION WALL CUT OUTS ARE NEEDED.
All headers are framed per floor framing plan.
See Floor plan for walkout and garden level window location and sizes.
 - 4) See engineer's foundation plan for lintel, pier and pad sizing and detail.
 - 5) Pad dimensions are from exterior surface of wall to center of pad
 - 6) Main basement wall 9' plus double sill plate (3") for 107" net ceiling with 4" slab over footing.
- Foundation top of wall and pier hts indicated are relative to top of 9' main basement wall under floor framing.





12
6 typ

Install Roof ventilation @1/300 of total roof area w/half at soffit and half at ridge

Class an Asphalt shingle Roofing over 15# felt paper over 15/32" OSB roof sheathing

Provide ice and water shield protection from edge of eave to 24" in from outside of exterior wall required at elevations above 7,000 ft. (Required for this building at approx 7,258 ft)

Provide min 4" gutters and downspouts with 3" tip ups.

Stucco w/metal lathe over building paper over 7/16" OSB wall sheathing

Display Shelf over Pantry

MIN 36" Open Guardrail at Balcony w/4" max openings

36" w x 42" h Recessed Art niche

Pre-engineered Trusses @24" oc (Typ)

Pre-engineered Trusses @24" oc (Typ)

5/8" Sheetrock at 24" oc framing 1/2" sheetrock at 12" and 16" framing

Top of Wall at 10' ceiling
Top of Wall at 9' ceiling

9'-1 1/8"

1'-9 5/8"

Subfloor

Top of Basement Wall

8'-11"

Grade

Basement Slab

DECK STAIRS

11 7/8" BC 6000 floor Joist @16" oc

W 1x30 Floor Beam

11 13/16"

REC ROOM

Treated or redwood sill plate

2x4@16" oc Rirring Wall at subgrade

See engineer's foundation Plan for anchor bolt and concrete reinforcement requirements.
Provide damp proofing

See Soils report for foundation drainage requirements

WET BAR

Premanufactured Stair System

Minimum 37" wide.
Risers: Max 8", min 4"
Treads 10 1/4" plus 1" nosing
Head Clearance: Maintain 6'-8"
Handrail: Min 34", Max 38" from stair Nose

1/2" Drywall minimum fire rated (all surfaces) under stamp if enclosed and accessible

Fire Block at Landing

MECHANICAL ROOM

HALL

Door to Bath

Bedroom 1

Door to Bath

Door to Bedroom 1

Door to Linen Closet

CLOSET

LINEN CLOSET

MASTER BATH

Window

Egress Window

2x6@16" oc exterior walls to 15, 12" oc over 15' to 18' 2x4@16" oc interior walls except where otherwise noted. 2x6@16" oc at walkout and garden level. Single bottom, double top plates (typ)

See Rescheck Report for Window U values and Wall ceiling and Floor Insulation R values.



Concrete slab with expansion joint at perimeter and isolated from interior loadings

Allow Floor Lift under non-bearing partitions
Treated or redwood sill plate on surface with bottom plate of wall elevated 3" above sill plate held in place with 6" spike @4" max oc.

Step footing to minimum 30" below finish grade and Provide 2" Rigid Foam Insulation to extend 36" vertically or horizontally between slab and foundation wall or outside of foundation wall as slope conditions warrant at walkout.

LOWER STAIRCASE SECTION

GENERAL NOTES:
SCALE: 1/4" = 1'

- 1) UNFINISHED BASEMENT AREA:**
7'-7 1/2" Minimum Ceiling Height. Beams, Girders and Ducts may project up to 10" below required height per 2005 PPRBC, Section RBC 303.4.11
9' Standard basement ceiling
- 2) WINDOWS:**
Basement includes Egress windows where indicated above exterior grade. (Custom) min 15 sq ft well at all subgrade basement windows with min 36" dimension. Provide ladder or other step out method where well is deeper than 44" above grade. First rung of ladder to be within 18" of grade.
Minimum Egress opening dimensions: Height: 24", Width: 20", 4.5 sq ft
Maximum sill height: 44"
Standard 84" slab to top of framed window openings or as specified on plan at window locations.
Frame Garden Level Firing walls to window sill height only.
- 3) VENTED EXHAUST FANS:**
Vented Exhaust Fans located as indicated by , terminate through joist cavity or duct soffit and out floor rim as indicated by arrows and may not terminate within 36" of any opening which allows air into occupied area
Provide backdraft damper.
- 4) STAIRS:**
Install minimum 1/2" drywall, firetaped, all surfaces under stairs if enclosed and accessible.
Provide Handrail minimum 34", maximum 38" from stair nosing.
Provide minimum 36" half wall or guardrail at open landings and balconies.
Maximum Riser: 8", Minimum Tread: 9", Maintain Minimum 6'-8" Head Clearance
- 5) WATER HEATERS:**
Bradford-White #M15036FBN: 50 gallon capacity, 86 gallon First Hour Rating, 40, 000BTU Input
Provide combustion air and clearances per IFGC for gas appliances.
- 6) SMOKE DETECTORS:**
Located as indicated by  interlinked together and to all other floors with battery back-up
- 7) Provide low resistance return air path to all closed rooms**
- 8) Arch radius to equal opening width at all arched openings.**

Terry C Design Services
5620 Old Farm Terrace
Colorado Springs, CO 80917
www.tchomedesign.com 719-964-2568

SCALE: 1/4" = 1'

Standard ceilings: 9' except where otherwise indicated. Verify plate heights with framing plans.

Garage ceiling: 97 1/8" or 109 1/8" from framed subfloor.

Standard exterior walls: 2x6@16"oc UON

2) WINDOWS:

Standard 84" subfloor to top of framed opening or as specified on plan at window location:

SF = Subfloor, TOF = Top of foundation

Provide one Egress window at all bedrooms.

Minimum Egress opening dimension:
Maximum Egress sill height: 44"

3) VENTED EXHAUST FANS:

Vented Exhaust Fans located as indicated by , terminate through roof or through floor rim as indicated by arrows and may not terminate within 36" of any opening which allows air into occupied area.

Where no arrow is indicated, exhaust fan vents straight up through roof.

Provide backdraft damper.

4) DRYER VENT

Dryer vent terminates at Floor rim below to exterior wall as indicated by arrow.

Maximum dryer vent duct: 25', allow 5' for each elbow.

Dryer vent may not terminate within 36" of any opening that allows air into occupied area.

Provide backdraft damper

Provide 100 sq in make-up air

5) STAIRS and BALCONIES:

Install minimum 1/2" drywall, firetaped, all surfaces under stairs if enclosed and accessible.

Provide Handrail minimum 34", maximum 38" from stair nosing

Provide minimum 36" half wall or guardrail at open landings and balconies.

Maximum Riser: 8", Minimum Tread: 9", Maintain Minimum 6'-8" Head Clearance

6) SMOKE DETECTORS:

Located as indicated by Interlinked together and to all other floors with battery back-up

7) DISHWASHER

Provide air gap device at dishwasher.

8) GARAGE

5/8" type X sheetrock at ceiling and common wall firetaped.

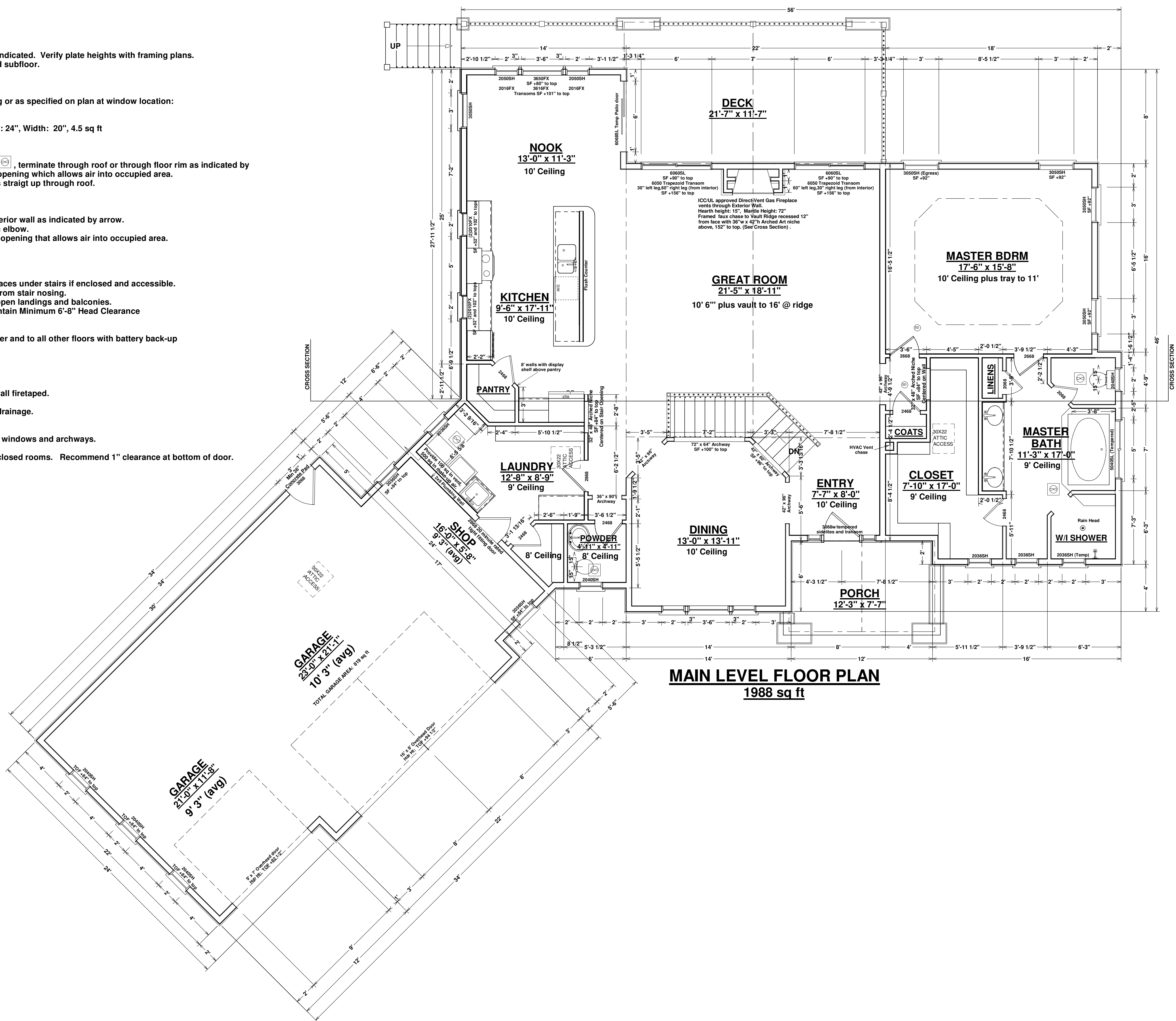
Wrap all structural members.

Provide minimum 1/8" slope per 1' at floor for drainage.

9) ARCH RADIUS

Arch radius equals opening width at all arched windows and archways.

10) Provide low resistance return air path to all closed rooms. Recommend 1" clearance at bottom of door.



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PLAN: Site specific single family residence

719-510-6253

Residence For:
ELEVATION HOMES
9715 Kings Canyon Dr.
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DECK FRAMING

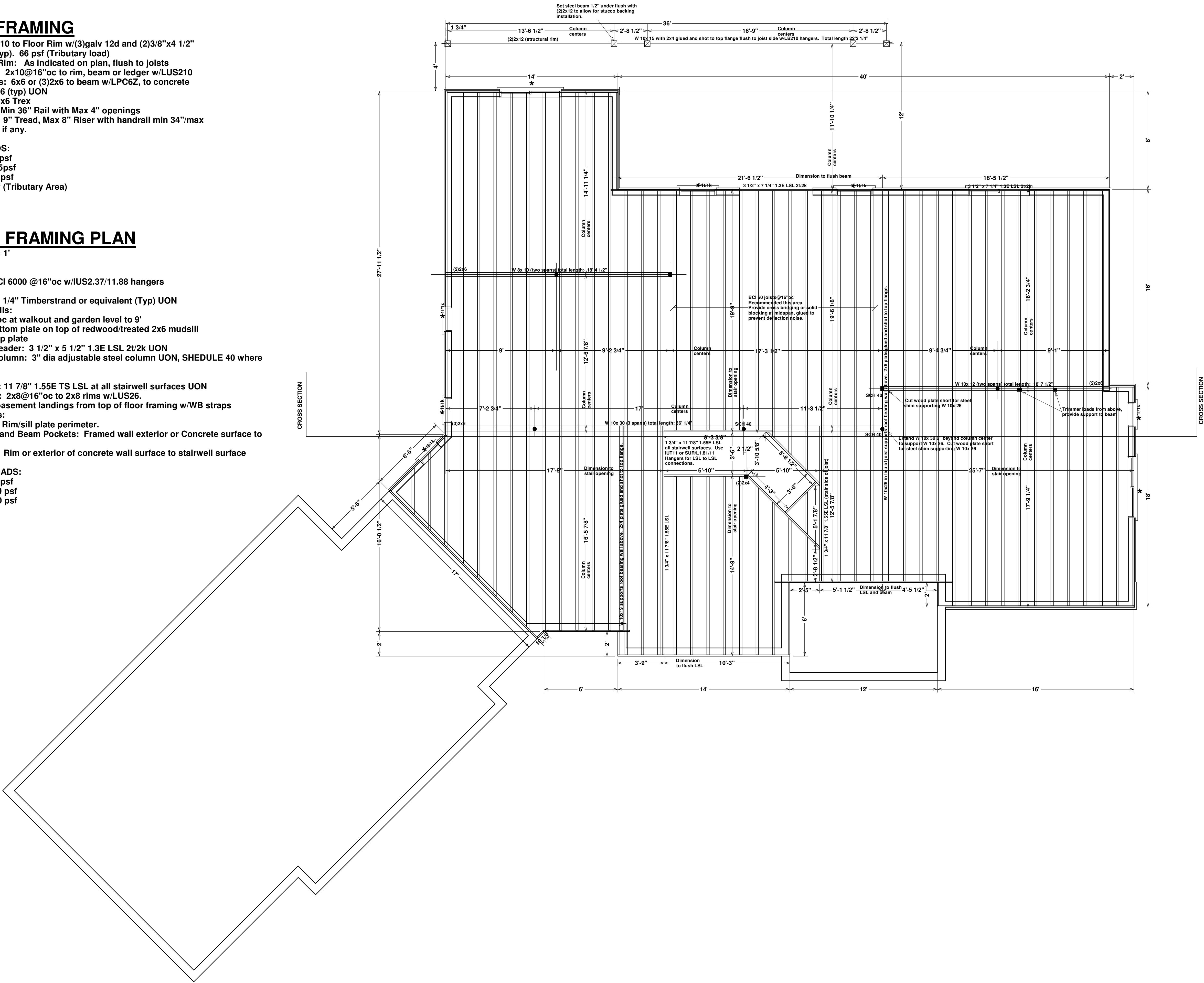
- 1) Ledger: 2x10 to Floor Rim w/(3)galv 12d and (2)3/8"x4 1/2" lags@16"oc (typ). 66 psf (Tributary load)
- 2) Structural Rim: As indicated on plan, flush to joists
- 3) Deck Joist: 2x10@16"oc to rim, beam or ledger w/LUS210
- 4) Columns: 6x6 or (3)2x6 to beam w/LPC6Z, to concrete below w/EPB66 (typ) UON
- 5) Decking: 2x6 Trex
- 6) Guardrail: Min 36" Rail with Max 4" openings
- 7) Stairs: Min 9" Tread, Max 8" Riser with handrail min 34"/max 38" from nose if any.

DESIGN LOADS:
Live Load: 40psf
Dead Load: 15psf
Total Load: 55psf
Ledger: 66psf (Tributary Area)

FLOOR FRAMING PLAN

SCALE: 1/4" = 1'

- 1) Joist: 11 7/8" BCI 6000 @16"oc w/IUS2.37/11.88 hangers
- 2) Rim: 11 7/8" x1 1/4" Timberstrand or equivalent (Typ) UON
- 3) Framed Walls: 2x6@16"oc at walkout and garden level to 9' Single bottom plate on top of redwood/treated 2x6 mudsill Double top plate
- 4) * Default Header: 3 1/2" x 5 1/2" 1.3E LSL 2t/2k UON
- 5) • Default Column: 3" dia adjustable steel column UON, SHEDULE 40 where indicated.
- 6) Stairwell: (1)1 3/4" x 11 7/8" 1.55E TS LSL at all stairwell surfaces UON Landings: 2x8@16"oc to 2x8 rims w/LUS26. Support basement landings from top of floor framing w/WB straps
- 7) Dimensions: Framing: Rim/sill plate perimeter. Columns and Beam Pockets: Framed wall exterior or Concrete surface to column center Stairwell: Rim or exterior of concrete wall surface to stairwell surface
- 8) DESIGN LOADS: Live Load: 40 psf Dead Load: 10 psf Total Load: 50 psf



SCALE: 1/4" = 1'

- DESIGN LOADS:** Over 7,000 ft elevation w/asphalt shingle roofing
Live Load: 40psf
Snow:
 Flat Roof (Pf): 40psf
 Unbalanced (pg): 27psf
Dead Load: 15psf
Total Load: 55psf
Wind: 100 mph exposure C

PLAN

16 1/2" plumb cut 2x6 tails UON. Specific heels are for total heel.
available at exterior walls except where noted overhang.
s and Rafter Bearings UON
" x 5 1/2" 1.3E TS LSL 1t/1k UON

6"oc, 0-5-8 bearing, SPF 2/btr top plates

2x6@16"oc, 0-5-8 bearing UON.
Interior Bearing: 2x4@16"oc 0-3-8 bearing UON
e overframe: 2x6@24"oc with vertical 2x4 support

er all overframe and valley trusses.
heel is greater than 8" (0-8-0)
are relative to Main Level Framed Subfloor UON.
n chord of vaulted trusses: 2x6@16"oc up to 15',

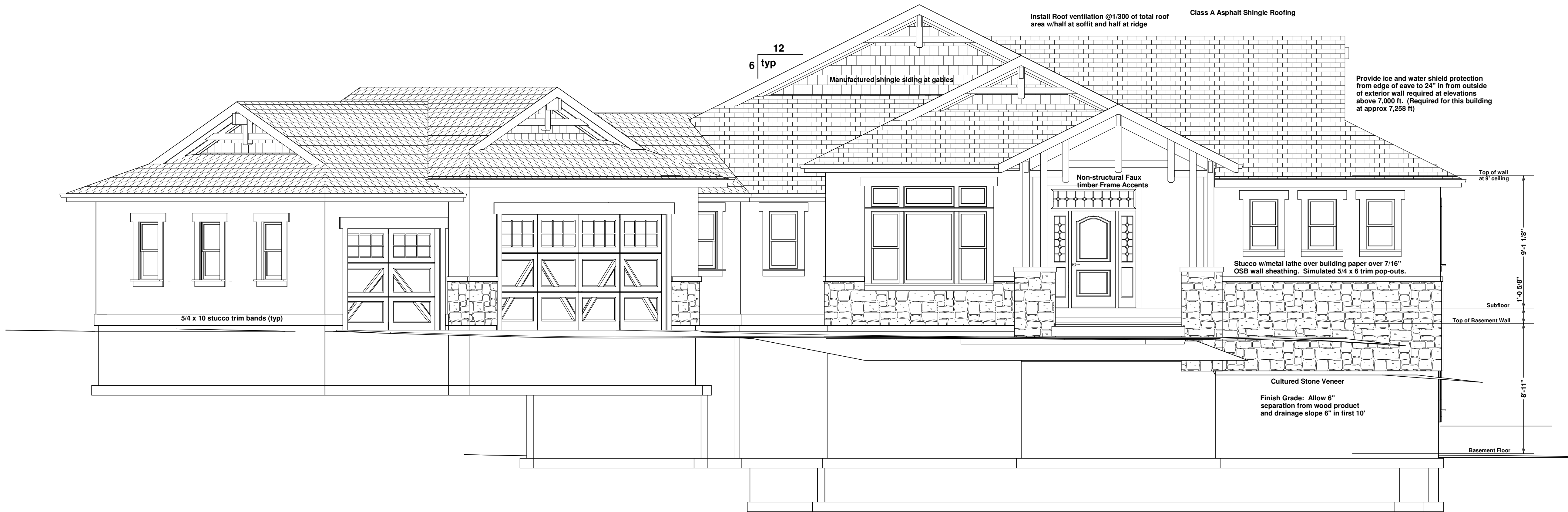
shield protection from edge of eave to 24" from elevations above 7,000 ft.

00 ft elevation w/asphalt shingle roofing

icated using Simpson part numbers.
based on each manufacturer's design criteria.
eria supercedes cross reference schedules.

PORCH ROOF COLUMNS (typ) Quantity: 2
(3)2x6 with LPC6Z Cap and ABUE6 Base w/5/8" Dia. Expansion anchors w/6" Min. Embedment into Foundation
OR
6x6 with LPC6Z Cap and ABE66 Base w/1/2" Dia. Expansion anchors w/6" Min. Embedment into Foundation

PORCH ROOF COLUMNS (typ) Quantity: 2
(3)2x6 with LPC6Z Cap and ABUE6 Base w/5/8" Dia. Expansion anchors w/6" Min. Embedment into Foundation
OR
6x6 with LPC6Z Cap and ABE66 Base w/1/2" Dia. Expansion anchors w/6" Min. Embedment into Foundation



FRONT ELEVATION

SCALE: 1/4" = 1'



FRONT SIDE ELEVATION

SCALE: 1/4" = 1'



REAR SIDE ELEVATION

SCALE: 1/4" = 1'



REAR ELEVATION

SCALE: 1/4" = 1'