

DRAWING INDEX

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CODE SCHEDULE

2011 PIKES PEAK REGIONAL BUILDING CODE
2009 IRC*
2009 IPC*
2009 IFCG*
2009 IMC*
2009 IECC*
2011 NEC**

*As amended by 2011 PPRBC
**Or the latest edition adopted by the State of Colorado

Terry C Design Services
5620 Old Farm Terrace
Colorado Springs, CO 80917
www.tchomedesign.com 719-964-2568



A Residence For:

8883 Shipman Ln.
Colorado Springs, CO 80908
719-570-6253

PLAN: Site specific single family residence
7035 Antonio Ct
Colorado Springs, CO 80916
Lot 4, Willow Creek Subdivision
Colorado Springs, El Paso County, Colorado

SUBCONTRACTOR NOTE: Every effort has been made to create a plan that is complete and accurate. However, the contractor is responsible for verifying all dimensions and conditions of the site prior to commencement of work. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

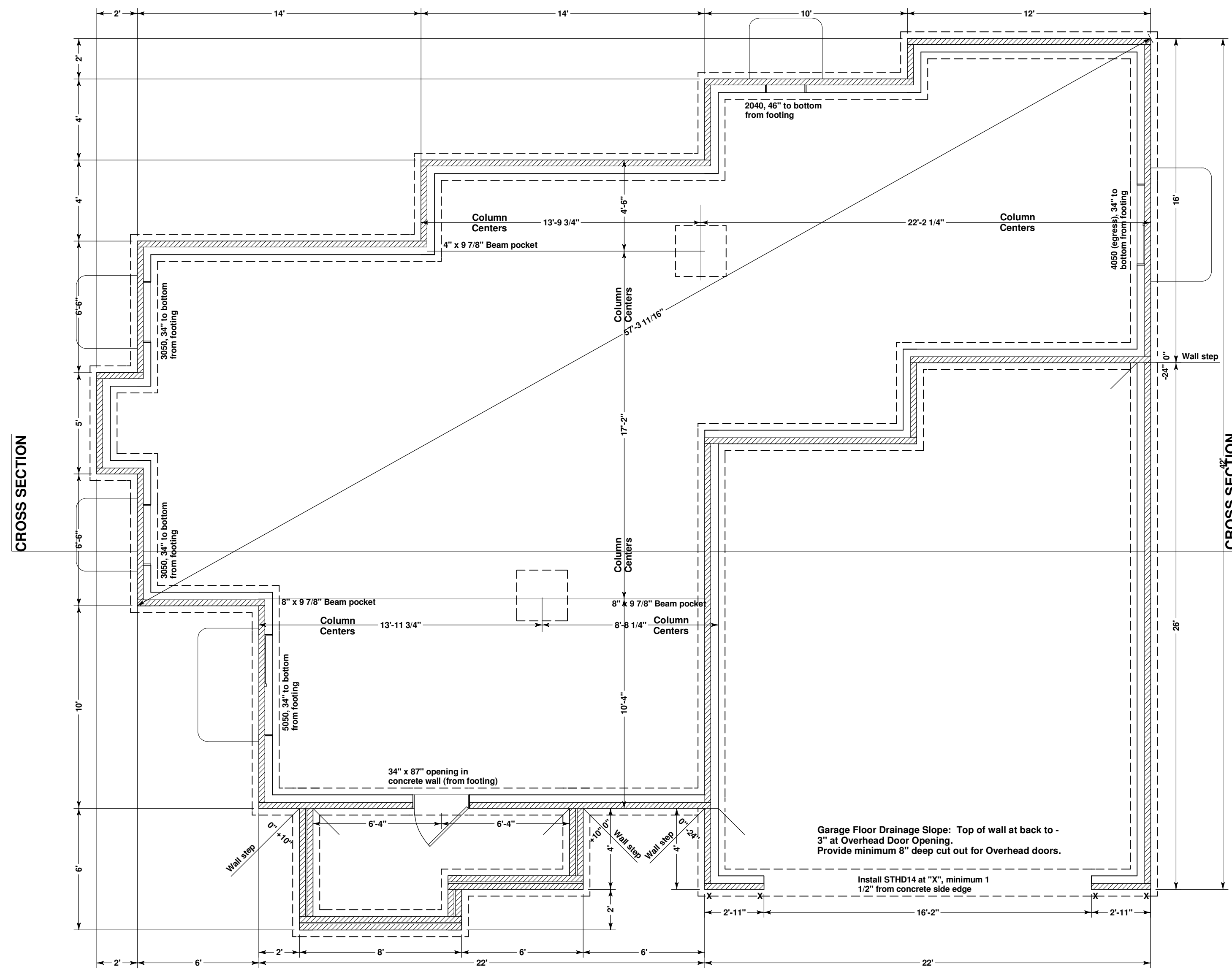
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Notes and Revisions:
BID/FINANCE EDITION
NOT FOR CONSTRUCTION

Drawn By:
Terry Carlson
719-964-2568

PLOT DATE
8/12/2014

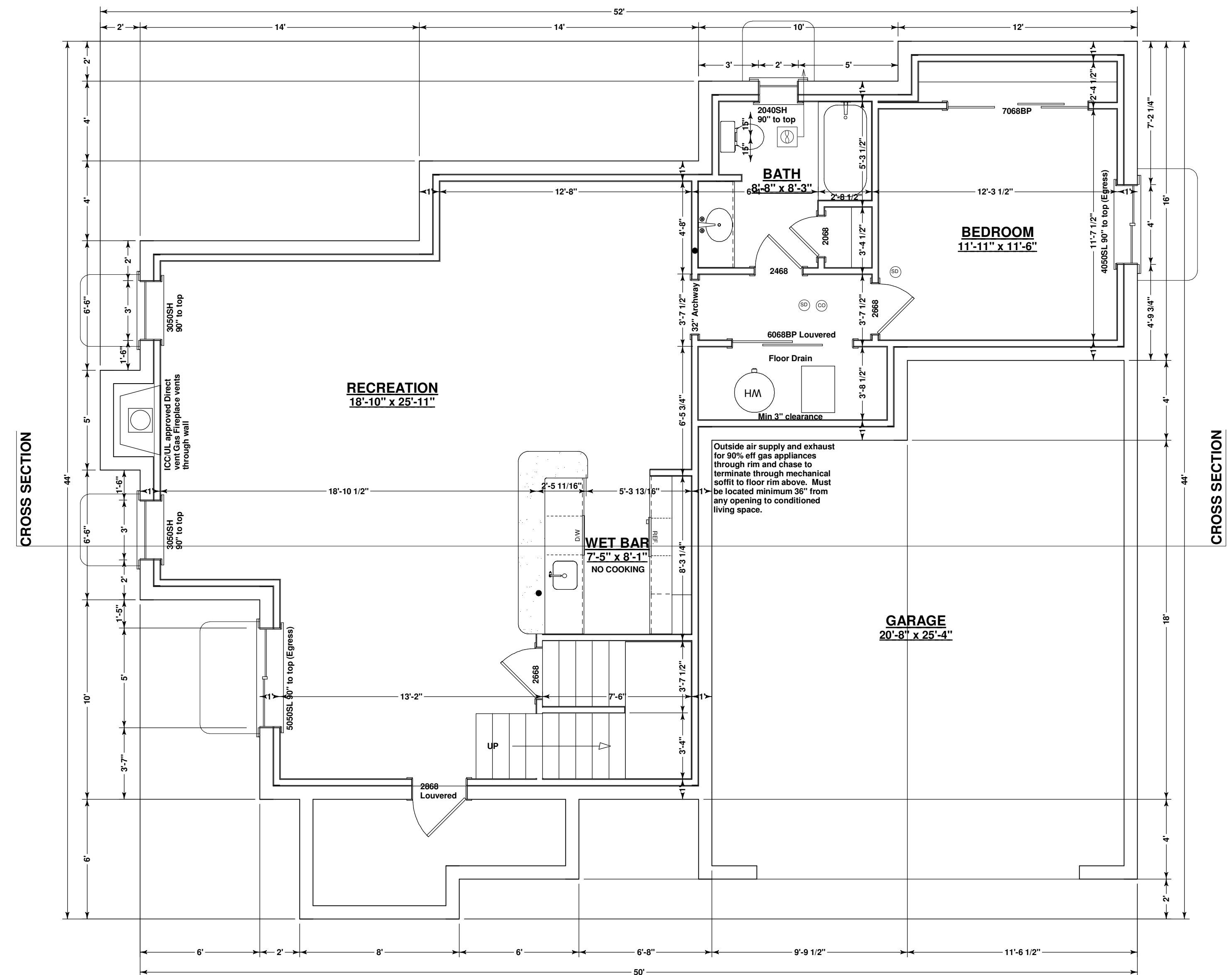
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FOUNDATION PLAN

SCALE: 1/4" = 1'

- Foundation Plan for dimensional reference only. Soils Report and Foundation Design by licensed Colorado Engineer must be onsite at first inspection.
- Hatched area indicates position of mudsill. Use treated or redwood 2x4 at top of basement wall 2x6 at Garage and garden level walls as shown. No Brickledge required for Cultured Stone Installation.
- Window labels indicate window size and height. Provide cutout to allow for framing at bottom and sides. Wells at egress windows must be minimum 15 sq ft with minimum 36" dimension. Provide steps or ladder if over 44" deep with bottom/top step/rung minimum 18" from grade.
- See engineer's foundation plan for lintel, pier and pad sizing and detail.
- Pad dimensions are from exterior surface of wall to center of pad.
- Main basement wall 9" plus double sill plate (3") for 107" net ceiling with 4" slab over footing. Foundation top of wall and pier hts indicated are relative to top of 9" main basement wall under floor framing.



BASEMENT FLOOR PLAN

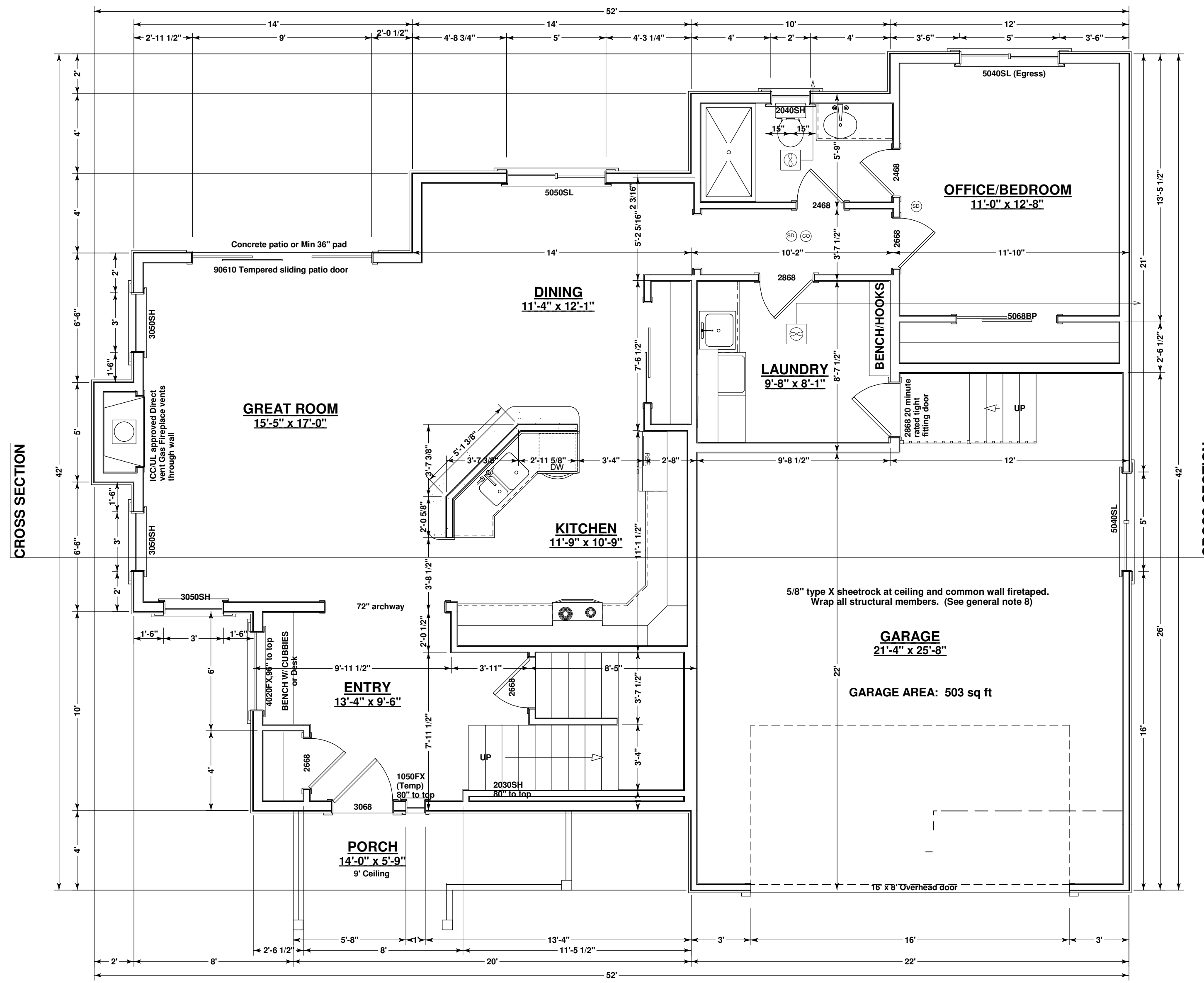
1234 sq ft

Basement floor plan provided for future finish reference only, basement to be left unfinished for initial build

BASEMENT GENERAL NOTES:

SCALE: 1/4" = 1'

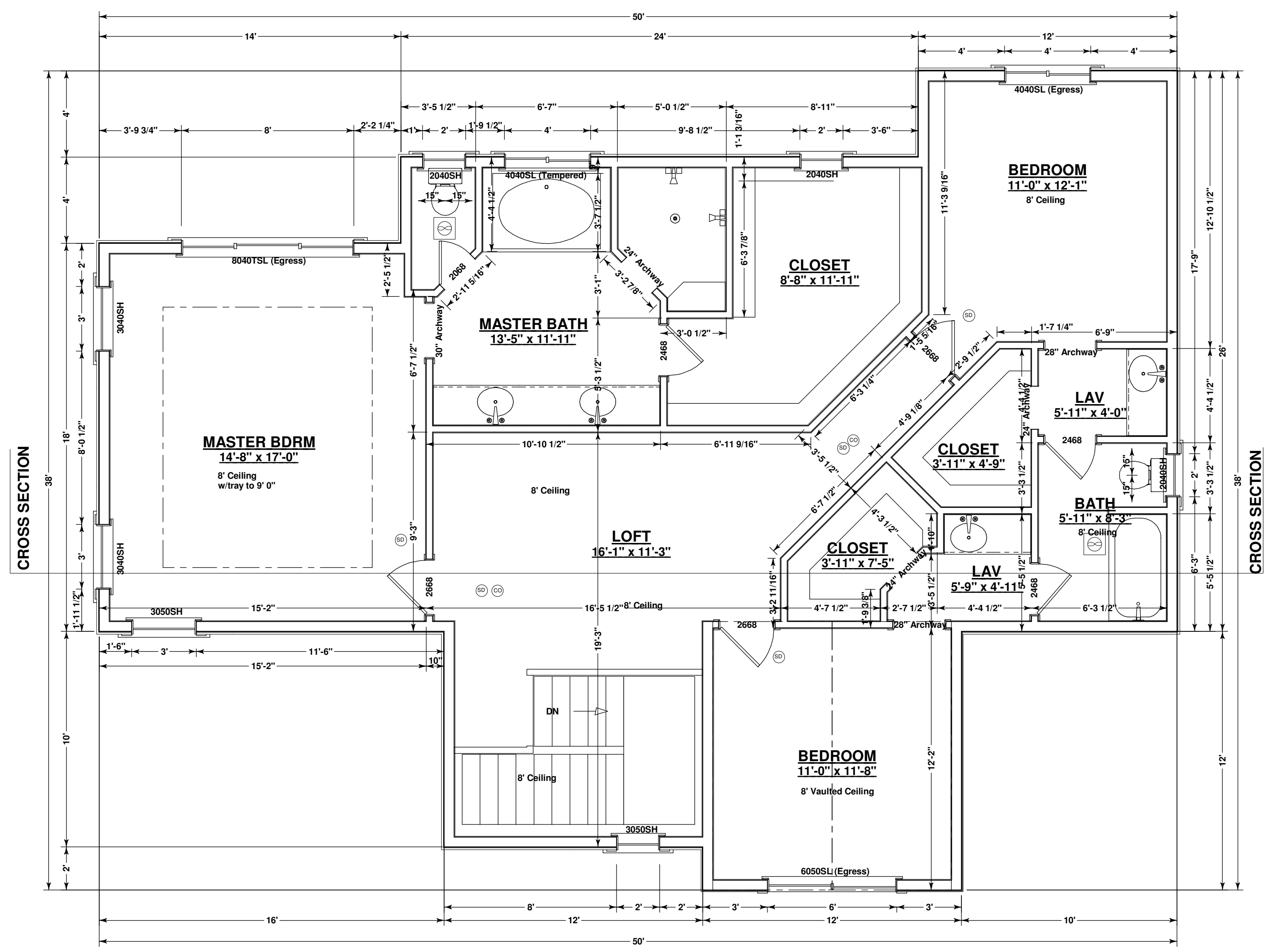
- BASEMENT CEILING HEIGHTS:** 7'-7 1/2" Minimum Ceiling Height. Beams, Girders and Ducts may project up to 10" below required height. Nominal 9" Standard basement ceiling: 107" slab to floor joist with 9" foundation wall plus double (3") sill plate, less 4" slab over footing
- EGRESS WINDOWS:** Basement includes Egress windows where indicated. Install min 15 sq ft well at all subgrade basement windows with min 36" dimension. Provide ladder where well is deeper than 44" below grade. First rung of ladder to be within 18" of grade. Minimum Egress opening dimensions: Height: 24", Width: 20", 5.7 sq ft. Maximum sill height: 44"
- VENTED EXHAUST FANS:** Vented Exhaust Fans located as indicated by , terminate through joist cavity or duct soffit and out floor rim as indicated by arrows and may not terminate within 36" of any opening which allows air into occupied area. Provide backdraft damper.
- DRYER VENT:** Dryer vent terminates Floor rim below to exterior wall as indicated by arrow. Maximum dryer vent duct: 25', allow 5' for each elbow. Provide booster fan for extended duct length. Dryer vent may not terminate within 36" of any opening that allows air into occupied area. Provide backdraft damper. Provide 100 sq in make-up air
- STAIRS:** Install minimum 1/2" drywall, firetaped, all surfaces under stairs if enclosed and accessible. Provide Handrail minimum 34", maximum 38" from stair nosing. Provide minimum 36" half wall or guardrail at open landings and balconies. Maximum Riser: 7 3/4", Minimum Tread: 10", Maintain Minimum 6'-8" Head Clearance
- WATER HEATERS:** Bradford-White #MI5036FBN: 50 gallon capacity, 86 gallon First Hour Rating, 40,000BTU Input. Provide combustion air and clearances per IMC for gas appliances.
- SMOKE AND CO DETECTORS:** Smoke Detectors located as indicated by interconnected and to all other floors with battery back-up. Carbon Monoxide detector shall be installed within 15 ft of all bedroom entrances. Multiple detectors to be interconnected.
- Provide low resistance return air path to all closed rooms. Recommend 1" clearance at bottom of door.
- Allow Floor Lift under non-bearing partitions. Treated or redwood sill plate on surface with bottom plate of wall elevated 3" above sill plate held in place with 6" spike @4" max oc.
- Provide outside combustion air to gas appliances in basement.



MAIN LEVEL FLOOR PLAN
1095 sq ft

FLOOR PLAN GENERAL NOTES:

- SCALE: 1/4" = 1'
- CEILINGS AND WALLS**
Standard ceilings: 9' except where otherwise indicated. Verify plate heights with framing plans.
Garage ceiling: 109 1/8" from framed subfloor.
Standard exterior walls: 2x6@16"oc UON
 - WINDOWS:**
All window header heights 84" from subfloor UON. Garage window tops from top of foundation wall.
Provide one Egress window at all bedrooms.
Minimum Egress opening dimensions: Height: 24", Width: 20", 5.7 sq ft
Maximum Egress sill height: 44"
 - VENTED EXHAUST FANS:**
Vented Exhaust Fans located as indicated by terminate through roof or through floor rim as indicated by arrows and may not terminate within 36" of any opening which allows air into occupied area.
Where no arrow is indicated, exhaust fan vents straight up through roof.
Provide backdraft damper.
 - DRYER VENT**
Dryer vent terminates Floor rim below to exterior wall as indicated by arrow.
Maximum dryer vent duct: 25', allow 5' for each elbow.
Dryer vent may not terminate within 36" of any opening that allows air into occupied area.
Provide backdraft damper
Provide 100 sq in make-up air
 - STAIRS and BALCONIES:**
Install minimum 1/2" drywall, firetaped, all surfaces under stairs if enclosed and accessible.
Provide Handrail minimum 34", maximum 38" from stair nosing.
Provide minimum 36" half wall or guardrail at open landings and balconies.
Maximum Riser: 7 3/4", Minimum Tread: 10", Maintain Minimum 6'-8" Head Clearance
 - SMOKE DETECTORS:**
Located as indicated by Interlinked together and to all other floors with battery back-up
Carbon Monoxide detector installed within 15 ft of all bedroom entrances. Multiple detectors to be interconnected.
 - DISHWASHER**
Provide air gap device at dishwasher.
 - GARAGE**
5/8" type X sheetrock at ceiling and common wall firetaped.
Wrap all structural members.
Provide minimum 1/8" slope per 1' at floor for drainage.
 - ARCH RADIUS**
Use opening width for arch radius at all arched windows and archways.
 - Provide low resistance return air path to all closed rooms. Recommend 1" clearance at bottom of door.



UPPER LEVEL FLOOR PLAN
1275 sq ft

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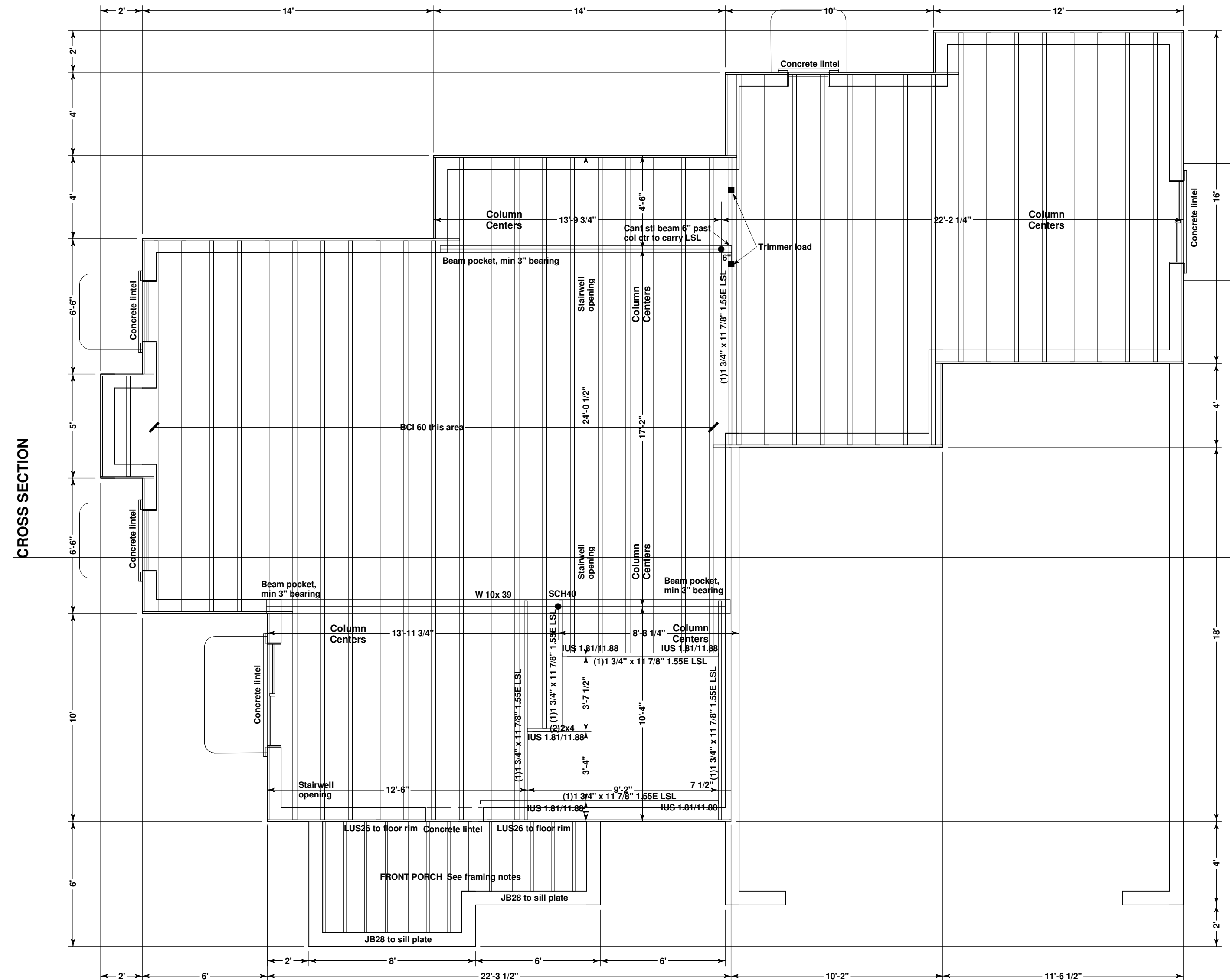
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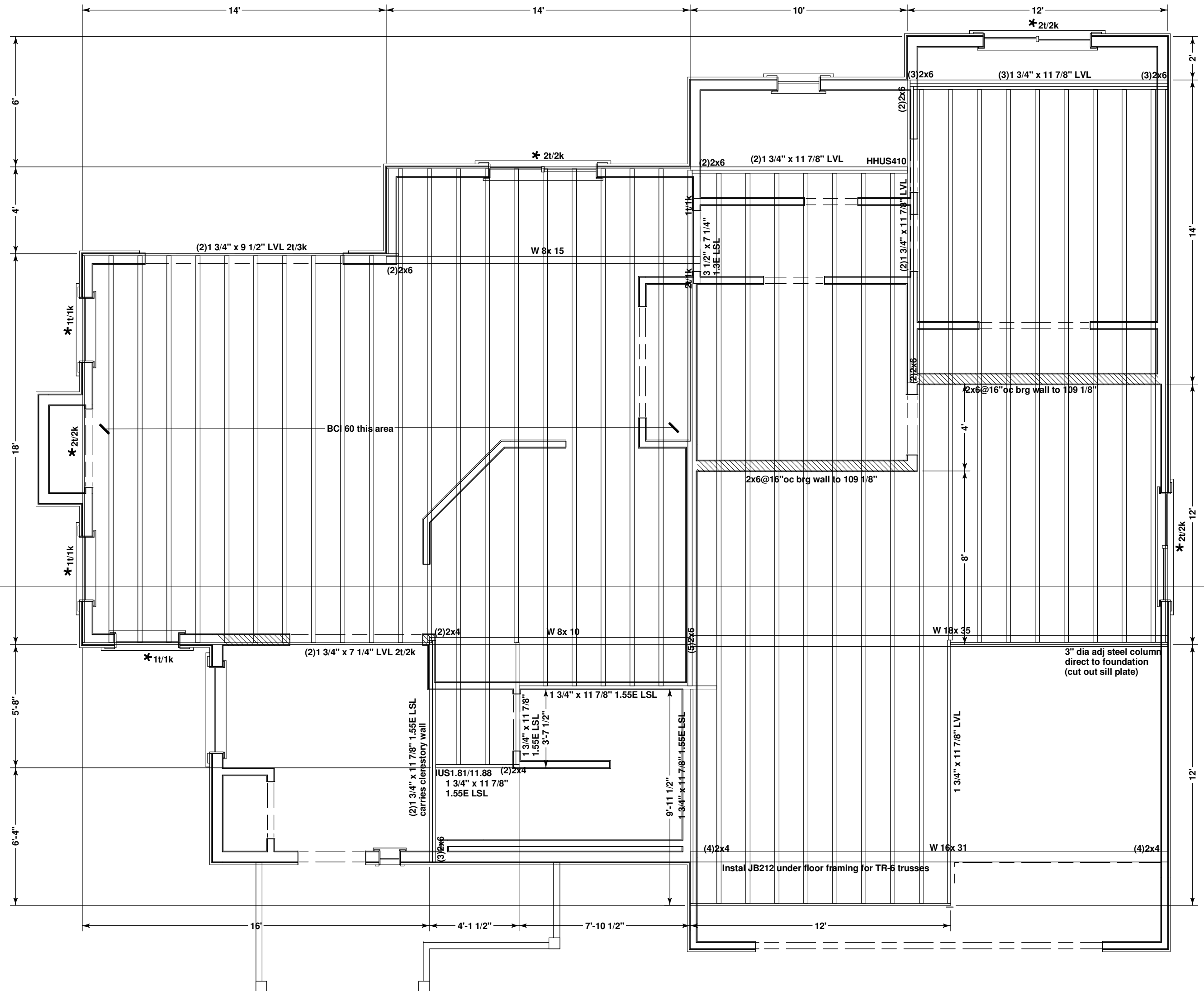
FRONT PORCH FRAMING

- 1) Top of framing 4 3/4" below top of main subfloor
- 2) Ledgers: Joists hang from LSL floor rim w/LUS26
- 3) Rim: Joists hang from sill plate w/JB28 hanger
- 4) Joists: 2x8 @16"oc to LSL Rim w/LUS26. Use LS70 at corners.
- 4) Subfloor: 5/8" Treated CDX
- 7) Topping:
 - Apply waterproof roofing membrane over deck under concrete topping
 - Avg 3 1/8" 6 sack 3/8- agg concrete topping reinforced w/fiber mesh
 - Topping to be flush with main subfloor along walls w/minimum 1/8" per foot drainage slope.
- 6) Porch Design Loads:
 - Live Load 40psf
 - Dead Load 55psf
 - Total Load 95psf

FLOOR FRAMING PLAN

SCALE: 1/4" = 1'

- 1) Joist: 11 7/8" BCI6000 joists @16"oc w/ IUS2.37/11.88 hangers
- 2) Rim: 11 7/8" Timberstrand or equivalent (Typ) UON
- 3) Framed Exterior Walls: 2x6@16"oc
- 4) (1) 1 3/4" x 11 7/8" 1.55E TS LSL at all stairwell surfaces UON
- 5) * Default Header: 3 1/2" x 5 1/2" 1.3E LSL 2t/2k UON
- 6) • Default Column: 3" dia adjustable steel column UON, SCHEDULE 40 where indicated.
- 7) Stair Landings: 2x8@16"oc to (2)2x8 rims w/LUS26. Hang landing beams from flush floor beams above w/ CS16 straps @ea beam end. Lap straps 10" min each end, do not nail into end grain, provide 2x backer full length of strap.
- 8) Dimensions:
 - Framing: Rim to rim
 - Columns and Beam Pockets: Framed wall exterior or concrete surface to center
 - Stairwell: Rim or exterior of concrete wall surface to stairwell surface
- 9) DESIGN LOADS:
 - Live Load: 40 psf
 - Dead Load: 10 psf
 - Total Load: 50 psf





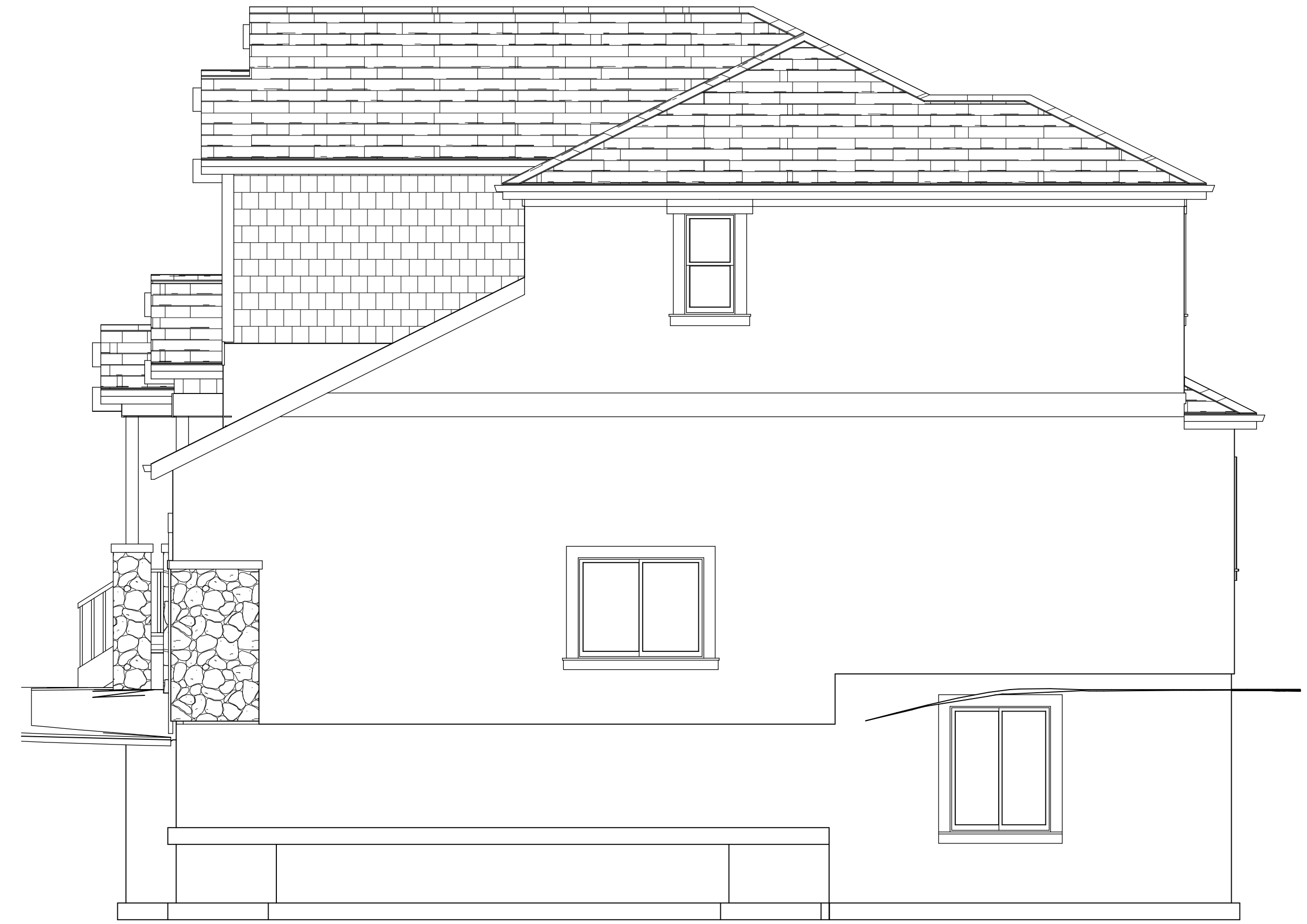
SIDE ELEVATION
SCALE: 1/4" = 1'



FRONT ELEVATION
SCALE: 1/4" = 1'



REAR ELEVATION
SCALE: 1/4" = 1'



GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'